

**GREAT BARRINGTON
COMMUNITY PRESERVATION COMMITTEE**

APPLICATION FOR CPA FUNDING – Step 1

Date Received (for office use only) _____

Applicant Name The W.E.B. Du Bois Center for Freedom and Democracy (“The Du Bois Freedom Center”)

Project Name Preserving the Historic Clinton A.M.E. Zion Church — Phase 1B Basement

Project Address 9 Elm Court, P.O. Box 1075, Great Barrington, MA 01230

Contact Person Dr. John Lloyd Title Interim Executive Director

Phone No. 617-359-0099

Email jlloyd@duboisfreedomcenter.org

Brief Project Description (attach up to 1 additional page if necessary)

The Du Bois Freedom Center respectfully requests a CPA grant of \$250,000 for the third phase of restoration work on the former Clinton A.M.E. Zion Church. Significant for its association with civil rights pioneer W. E. B. Du Bois, and its enduring role in the region’s African American community, Great Barrington’s first Black church was built in 1886-87. The Du Bois Freedom Center is transforming this National Register property into an African American cultural heritage center with exhibits and programming that will educate the public about Du Bois’ complex life and legacy, the Berkshires’ rich African American history, and the work of the church and its first female pastor, Rev. Esther Dozier. *(continued on p. 3)*

Amount of CPA funding you are seeking: \$250,000

When do you request the CPA funding be received by your project? Spring 2026

Property Owner (if different from applicant) — *SAME BUT NOTE NAME VARIATION BELOW*

Owner’s Name The W.E.B. Du Bois Center for Freedom and Democracy (f/k/a Clinton Church Restoration)

Owner’s Address Same

Phone No. Same

Email: Same

If Owner is different from applicant, you must include a letter signed by the Owner giving permission to apply for funds for the specified project on the Owner’s property.

	OPEN SPACE	HISTORIC RESOURCES	RECREATIONAL LAND	COMMUNITY HOUSING
Activities (refer to Glossary for definitions)	Land to protect existing and future well fields, aquifers and recharge areas, watershed land, agricultural land, grasslands, fields, forest land, wetland, river, stream, lake and pond frontage, land to protect scenic vistas, land for wildlife or nature preserve, and land for recreation use.	Building, structure, vessel, real property, document or artifact listed on the state register of historic places or determined by the local historic preservation commission to be significant in the history, archeology, architecture or culture of the city or town.	Land for active or passive recreational use including, but not limited to, the use of land for community gardens, trails, and noncommercial youth and adult sports, and the use of land as a park, playground or athletic field. Does not include horse or dog racing or the use of land for a stadium, gymnasium or similar structure.	Housing for low and moderate income individuals and families, including low or moderate income seniors. Moderate income is less than 100%, and low income is less than 80%, of US HUD Area Wide Median Income.
ACQUISITION Obtain property interest by gift, purchase, devise, grant, rental, rental purchase, lease or otherwise. Only includes eminent domain taking as provided by G.L. c. 44B				
CREATION To bring into being or cause to exist. <i>Seideman v. City of Newton</i> , 452 Mass. 472 (2008)		X		
PRESERVATION Protect personal or real property from injury, harm or destruction				
SUPPORT Provide grants, loans, rental assistance, security deposits, interest-rate write downs or other forms of assistance directly to individuals and families who are eligible for community housing, or to entity that owns, operates or manages such housing, for the purpose of making housing affordable	X	X	X	
REHABILITATION AND/OR RESTORATION Make capital improvements, or extraordinary repairs to make assets functional for intended use, including improvements to comply with federal, state or local building or access codes or federal standards for rehabilitation of historic properties	Only applies if property was acquired or created with CPA funds			Only applies if housing was acquired or created with CPA funds

Chart adapted from "Recent Developments in Municipal Law", Massachusetts Department of Revenue, October 2012.

Historical Significance

Dedicated in 1887, the Clinton A.M.E. Zion Church served as the spiritual, cultural, and political center of local African American life for nearly 130 years. The A.M.E. Zion Society that built the church was a formative influence in the life of W.E.B. Du Bois, who was born and raised in Great Barrington. The shingle-style church, a distinctive example of 19th-century vernacular church architecture, is also significant for its association with the religious and cultural heritage of African Americans in rural New England, and the congregation's involvement in the Civil Rights Movement. It is listed on the National Register of Historic Places, the Massachusetts Register of Historic Places, the Upper Housatonic Valley African American Heritage Trail, and has been named one of Massachusetts' Most Endangered Historic Resources. It is also located in Great Barrington's Downtown Cultural District.

Status of Work to Date

Rehabilitation of the historic church building has been guided by the project's 2018 historic structure report, in which a two-phase project was anticipated. However, due to the building's poor condition and extensive structural damage, and the impacts of the COVID-10 pandemic, the planned Phase I construction was divided into three sub-phases:

- Phase IA Roof — COMPLETED
This phase included initial roof repair and emergency stabilization work. (2019-2021)
- Phase IB Structure — COMPLETED
This phase comprised final roof repair/replacement, installation of new cedar shingles, and major structural upgrades. (2022-2025)
- **Phase IB Basement — THIS APPLICATION (see below)**
This phase will address the basement's longstanding water infiltration problems and make it suitable for program use in a manner that complies with all relevant building codes.

In addition to the Phase I work outlined above, the Center's design team has made significant progress on the development of its Phase II architectural and engineering plans and permitting. In 2025, a special permit to alter a nonconforming structure was issued by the Great Barrington Zoning Board of Appeals, and site plan approval was granted by Town Planning Board.

Current Request: Phase IB Basement

The Center now seeks funding for its third round of construction work, Phase IB Basement. Slated for 2026-2027, this phase will include:

- Raising the building 24 inches to significantly improve drainage and moisture conditions, and allow for a usable, code-compliant basement with a 7'10" ceiling (vs. the current 6'4"). The work will involve site prep, development of a lifting plan by a specialized contractor, installation of structural shoring, and lifting the building.
- Full replacement of the existing stone foundation and slab with new cast-in-place concrete. This approach was recommended by the project's structural engineer, after their 2022 assessment led to a determination that repair of the existing foundation, which is mostly dry-laid stone with daubs of semi-decomposed mortar between them, would be insufficient. The work will include waterproofing of the new foundation, as well as related drainage and site work.

All work is being done in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. An easement will restrict the property in perpetuity.

GREAT BARRINGTON COMMUNITY PRESERVATION COMMITTEE
APPLICATION FOR CPA FUNDING – Step 2

Date Received (for office use only) _____

Applicant Name The W.E.B. Du Bois Center for Freedom and Democracy (“The Du Bois Freedom Center”)

Project Name Preserving the Historic Clinton A.M.E. Zion Church — Phase 1B Basement

Project Address 9 Elm Court, P.O. Box 1075, Great Barrington, MA 01230

Assessor’s Map 13 Lot 14-206

Property Deed Book / Page 022419 / 118

1.) Project Budget (list all sources and uses, including grants, fundraising, etc.)

Total CPA funds requested: \$250,000

Fill in the chart below showing all project sources and uses, including requested CPA funds:

Source Name	Amount	% of total	Used for	Committed?
Town of GB CPA Fund	250,000	15%	Ph IB Basement	This application
Mass Office of Travel & Tourism	155,000	9%	Ph IB Basement	Yes
Nat’l Trust AACH Action Fund	250,000	15%	Ph IB Basement	Pending
Mass Cultural Facilities Fund	200,000	12%	Ph IB Basement	Pending
Private foundation Grant	250,000	15%	Ph IB Basement	Planned
Add’l fed, state, foundation grants	450,000	27%	Ph IB Basement	Planned
Individual donations	83,692	5%	Ph IB Basement	Planned
Total budget:	\$1,638,692	100%		

A detailed project budget is attached.

2.) Timing of Funds: Describe when CPA funds and other funding sources are to be received.

- Town of GB CPA funds (this application) Summer 2026
- MOTT Destination Development Capital Grant funds (pending) Summer 2026
- National Trust AACH Action Funds (pending) Spring 2026
- Mass Cultural Facilities Fund funds (pending) Summer 2026
- Private foundation grant (planned) Spring 2026
- Additional federal, state, and foundation grants (planned) Summer-Fall 2026
- Individual donations (planned) Summer-Fall 2026

Note: except for MOTT, specific funders listed above have previously awarded grants to the project.

3.) Existing use or deed restrictions, permanent easements, historic designations, special permits, etc. if any:

The Clinton A.M.E. Zion Church is listed on the National Register of Historic Places, the State Register of Historic Places. The National Register listing was recently amended to acknowledge the church's significance to the Civil Rights Movement.

Located in the Downtown Great Barrington Cultural District, the church is a site on the Upper Housatonic Valley African American Heritage Trail, the W.E.B Du Bois Walking Trail, and Tufts University's African American Trail Project. It was also named to Preservation Massachusetts' list of Massachusetts Most Endangered Resources.

In 2024, a special permit to alter a nonconforming structure was issued by the Great Barrington Zoning Board of Appeals, and site plan approval was granted by Town Planning Board. In addition, the Town approved the transfer of an adjacent parcel (.02 acres) to the Center; the deed transfer is pending review by Town Counsel.

4.) Proposed Use or Deed Restrictions after Project Completion (in accordance with CPA rules):

A preservation restriction agreement between the Commonwealth of Massachusetts by and through the Massachusetts Historical Commission and the W.E.B. Du Bois Center for Freedom and Democracy, Inc. (f/k/a Clinton Church Restoration, Inc), will protect the Clinton A.M.E. Zion Church property in perpetuity. In addition to complying with funder requirements (including those of the CPA) the preservation restriction will ensure that the property is maintained and its historic integrity is respected. It will be executed upon completion of the building's rehabilitation.

5.) Describe the project team, including project management personnel, design professionals, contractors, and other applicable consultants, their relevant experience, so forth. Attach additional pages/resumes as needed.

The Center's architectural and engineering design team has extensive experience with grant-funded historic preservation projects and has been involved with the restoration of the Clinton A.M.E. Zion Church for many years. The team includes:

- Clark, Green + Bek (preservation architecture and construction administration)
- Structures North Consulting Engineers (structural engineering)
- Foresight Land Services (civil engineering)
- Landmark Facilities Group (MEP engineering)
- Walter Cudnohufsky Associates (landscape architecture)
- Collaborative Lighting (lighting consultant)
- Talevi and Haesche (construction cost estimator)

CVs are attached for the primary team members involved with Phase IB Basement: Jacob Bek, Steve McAllister, and Tobias Bernercker of Clark, Green + Bek; John Wathne and Jill Borghardt of Structures North; and Steve Mack of Foresight Land Services. Firm profiles are available upon request.

The Center will hire an owner's rep to manage the project from the bidding phase through construction.

6.) Consistency: Describe how the proposed project is consistent with the Community Preservation Plan and with the Great Barrington Master Plan.

Community Preservation Plan

This project fulfills the Historic Preservation goals of the Community Preservation Plan, which states: “Great Barrington’s historic legacy and cultural resources are important contributors to our quality of life and economy.” The church project will restore a historically significant site, revitalize a deteriorated downtown building, and draw local residents and tourists to the town center, creating vitality and economic activity.

Great Barrington Master Plan

Historic Preservation advances the Great Barrington Master Plan’s core initiatives by “protecting our community character, enhancing our neighborhoods, and promoting redevelopment of our village centers”. This project aligns with these goals in several ways:

Historic Preservation: Once completed, the historic Clinton Church will become a cultural and economic resource in Great Barrington’s downtown. The Plan’s vision articulates an “embrace of people of many ages, incomes, and ethnicities,” and calls for “history, walkable neighborhoods, and vibrant village centers” as the foundation for the town’s future viability. The Master Plan identifies the value of a walkable downtown that is rich with cultural opportunities that will help support the surrounding mix of shops and restaurants. A vibrant cultural heritage center will draw local residents and tourists through a robust schedule of programs, exhibits, and events.

Historic resource preservation will also help Great Barrington be a more sustainable community. It creates jobs and increases property tax revenue and tourism. It preserves important educational opportunities and resources. It reuses existing buildings and directs growth pressures to locations where infrastructure already exists, allowing for the conservation of important landscapes.

Land Use: The Plan calls for redevelopment of dilapidated properties and to “support Downtown so That it continues to prosper as a regional hub of business, employment, entertainment, and civic life”. The restoration will transform a vacant building into a vibrant and welcoming community resource in the heart of downtown.

Tourism: According to the Plan, historical and cultural resources “are an important basis of our downtown tourism”. Heritage tourism continues to be one of the fastest growing markets in the country, with heritage tourists spending more than tourists in other sectors. Interest in sites devoted to African American and civil rights history in particular have grown dramatically, a trend accelerated by the opening of the National Museum of African American History and Culture in 2019. According to the CEO of the American Association for State and Local History, museums and cultural organizations, its members “are all working on emphasizing the history of civil rights and the history of race relations... it’s a priority for everyone.” (2018 article in Stateline, an initiative of The Pew Charitable Trusts).

This project is uniquely positioned to draw these and other tourists to Great Barrington, where the Center will tell the story of W.E.B. Du Bois in his hometown and provide a window into the largely untold history of African Americans in rural New England.

7.) Town Projects: Is the proposed project for a town-owned asset? No

8.) Public Benefits: Describe the public benefits of the project.

The effort to transform the historic Clinton A.M.E. Zion Church into an African American cultural heritage center is part of a national movement to preserve historically important African American and civil rights heritage sites around the country and to more accurately present the full scope of

American history. The project has received considerable local, regional, and national attention and has also brought significant new funding to Great Barrington. The project's early success was called out in Great Barrington's application to establish a downtown cultural district. The historic church, located in a historically African American neighborhood, is now a key site anchoring the northern end of the district. Continued success will provide additional public benefit in a number of ways:

Preserve and interpret local history: The Clinton A.M.E. Zion Church played a central role in the history of the African American community and civil rights in the Berkshires, a story that has been long overlooked. The founding congregation had a formative influence on the life and work of W.E.B. Du Bois, the internationally known scholar and activist who has been called "the premier architect of the Civil Rights movement." Interpretive exhibits and programming will explore the rich Black history of the Berkshires, including Du Bois' complex legacy and the contributions of luminaries from Agrippa Hull to James Van Der Zee. They will also keep alive the stories of the church, its first female pastor, the Rev. Esther Dozier, and its members through oral histories and archives.

Heritage tourism site: With its focus on W.E.B. Du Bois and the legacies of African Americans in 19th- and 20th- century rural New England, the Center will bring new groups of students and tourists to the Berkshires by leveraging national trends in African American, civil rights, and heritage tourism, which are among the fastest growing sectors in the industry. The project will add a unique new site to the region's rich cultural offerings.

Cultural and educational resource: The restored church's flexible performance space, interpretative exhibits and visitor center will provide space for the Center's planned educational and cultural programming dedicated to local African American heritage and culture. With seating for 75-100, the former sanctuary will complement the larger downtown performance venues for groups seeking rental space. The downstairs social hall will provide community meeting space with kitchen facilities.

9.) Leverage: Will the CPA funds be used to leverage or supplement other funding for this project? Please explain other sources and whether they have been committed.

Yes. The Center has a proven track record of leveraging grants for additional funding. This CPA grant, if awarded, will supplement a \$155,000 MOTT Destination Development Capital Grant just awarded by the Commonwealth, and other grants for which the Center has applied or will be applying this month, including the National Trust Action Fund, Mass Cultural Facilities Fund, and a local private foundation, all of whom have funded the project in the past. Historically, we have found that having financial support from the Town reflects well on the project, and we believe it will help to leverage other grants (including from the National Park Service) and donations the Center plans to pursue in 2026.

10.) Community Input and Support: Describe any community input, meetings and/or support that you have for your proposed project.

- **Local support:** The Center has received significant input and support from the community since the project's inception. To date, nearly 900 individuals have donated to the project. Thousands of community members have attended the Center's events, which include a wide range of performances, lectures, and guided tours. Many of these events have been held in collaboration with local organizations, including Housatonic Heritage, Mahaiwe Performing Arts Center, Saint James Place, Great Barrington Land Conservancy, Dewey Hall, The Mount, Jacob's Pillow, and the Clark Art Institute. Educational partnerships with UMass Amherst, Mass College of Art, and the Du Bois Middle School provide curriculum-based opportunities for students to more engage more deeply with the Center's interpretive and programming work.
- **Community input in planning:** Community input to ensure the development of an appropriate

and sustainable vision for the future of the Clinton A.M.E. Zion Church has also been an ongoing priority. Planning workshops, design charrettes, audience research, and presentations have been used to garner input from individual stakeholders, organizations, and the public. As part of our application for a special permit in 2024, the Center's plans were presented in public meetings and hearings of the Planning Board, Selectboard, Design Advisory Committee, and Zoning Board of Appeals.

- **Letters of support:** Formal letters in support of this application from the following people have been included as attachments to this application: State Senator Paul W. Mark, State Representative Leigh Davis, Berkshire Regional Tourism Council Director Lindsey Schmid, and GB Historical Commission Chairman Malcolm Fick.
- **Partnerships:** From the outset, the Center has had strong partnerships with the Upper Housatonic Valley National Heritage Area (Housatonic Heritage) and UMass Amherst, two of the institutions involved in the development of a 2009 master plan for interpreting the legacy of W.E.B. Du Bois in Great Barrington. The plan, *W.E.B. Du Bois Boyhood Homesite and Great Barrington: A Plan for Heritage Conservation and Interpretation*, was the outcome of a comprehensive planning process that included local residents, educators, design professionals, and a representative from the National Museum of African American History and Culture, and has been a foundational resource for the Center's work.

Housatonic Heritage, a program of the National Park Service, has been an integral partner in the project, serving as our organization's financial sponsor prior to our receiving 501c3 status and acting as a conduit for three National Park Service grants. In addition, they have provided ongoing support in the form of sponsorships, grants and technical assistance, most recently providing funding for the establishment of the Center's field office and storefront popup at 309 Main Street in Great Barrington. Housatonic Heritage's executive director serves on the board of directors, *ex officio*.

The University of Massachusetts Amherst, which houses the papers of W.E.B. Du Bois and maintains his Boyhood Homesite in Great Barrington, has been another foundational partner. Collaborations have ranged from guided tours, archaeological field schools, and the development of interpretive signage in various downtown Great Barrington locations. Faculty and students from the university continue to contribute to the project in a range of roles. The Center's current history and interpretive fellow is a Ph.D. candidate in the Afro-American Studies and Public History departments.

New educational partnerships are being forged with the Du Bois Middle School in Great Barrington and Mass College of Art and Design in Boston, while ongoing collaborations with the Mahaiwe Performing Arts Center, Jacob's Pillow, Saint James Place, the Mount, and others continue to support and expand the Center's programming.

11.) Permits: Describe permits that may be required, the status of those permits or applications, and/or when the applications will be submitted and permits received.

A special permit to alter a nonconforming structure was issued by the Great Barrington Zoning Board of Appeals in March 2024. The following month, the Planning Board approved the project's site plan. Although we are prepared to commence work related to the permit within the required two-year window, we would prefer to wait until a general contractor can be hired for the full scope of work later in the year. For this reason, we plan to request a request for one-year extension from the ZBA.

Prior to going out to bid, the architectural and engineering plans for Phase IB Basement must be approved by the State Historic Preservation Office. This submission is planned for Spring 2026. Should

the National Park Service provide funding for a later portion of the work, they will also review these plans. Once hired, the contractor will obtain a building permit from the town.

12.) N/A

13.) N/A

14.) N/A

Historic Preservation Projects

Applicants should note: all CPA-funded historic preservation projects must comply with the US Secretary of the Interior's standards for the treatment of historic properties.

15.) Historic Preservation Projects: Clearly describe how the project meets the Historic Preservation goals of the Community Preservation Plan.

The Center's plans are closely aligned with the Historic Preservation goals identified in the Community Preservation Plan, which states that historic preservation is *"essential to our small town feeling and sense of place, and are vital elements of our tourism sector."* In addition, *"historic resource preservation helps Great Barrington be a more sustainable community"* by reusing existing buildings, promoting tourism, and providing educational opportunities.

Central to the Center's mission is the preservation of a downtown building for adaptive reuse as an educational resource, community cultural center, and heritage tourism site. The planned center, current programming, and new downtown storefront pop-up are all working in service of the plans' goals:

- **Preserving a site listed on the National Register of Historic Places:** The Clinton A.M.E. Zion Church (Information System Number: 08000464) was listed in 2008 for its Historically Significant Architecture. The Queen Anne, shingle-style, wood framed building is a distinctive example of late 19th century vernacular church architecture. The sanctuary and entryway have retained much of the building's 1887 character including the exterior clapboard siding, belfry, sanctuary ceiling, and two stained glass windows. In 2024, an amendment to the listing extended the period of significance to encompass the property's Civil Rights Era history and coincides with the transfer of the church's management from the local parish to the Boston district of the national A.M.E. Zion Church. All work is being undertaken in compliance with Secretary of the Interior's Standards for the Treatment of Historic Properties.
- **Preserving a threatened historic resource:** In 2018, Preservation Massachusetts added the church to its list of the state's most endangered resources. The vacant building had been severely damaged by water infiltration and structural failure and might have been lost had the Center (then called Clinton Church Restoration) not intervened to stabilize and rehabilitate it.
- **Preserving artifacts and records that are significant to the history of Great Barrington:** The church has been an anchor of the small African American neighborhood behind Main Street for 130 years. It has been the most enduring African American church in Berkshire County and the only extant building integrally associated with W. E. B. Du Bois's formative years. Scholar Homer Meade called the church "a crucible that nurtured the spirit and honed the skills of 'Willie' Du Bois." David Levering Lewis, Du Bois's biographer described it as "a place of continual and important social reference for him." Cataloging of the Center's collection is underway and some artifacts are currently on display at the Center's downtown storefront pop-up.
- **Public access:** Since its formation, the Center has offered a wide range of public programming, often in partnership with local venues. Over the years, tours, concerts, lectures, and other events have helped to build an audience and awareness of the project. In October 2024, we opened a new storefront pop-up at the Center's field office at 309 Main Street in Great Barrington. This visible

downtown location will serve as a dynamic community venue, featuring rotating displays that highlight local Black history, including Du Bois and the Clinton A.M.E. Zion Church. Staffed by the Center’s history and interpretive fellow, volunteers, and student interns, it will provide a base for guided walking tours of Black history- and Du Bois-related sites in Great Barrington. Once the transformation of the church is completed, the Center will be fully accessible to the public, offering museum-quality interpretive exhibits, programming, and community events.

16.) Other Information: Describe any other relevant information about the project and the site. For example: is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site; is the site or could the site be contaminated and if so what is the plan for remediation.

Zoning: The site is in a B2 General Business Zone and also in the Village Center Overlay District. As noted above, in 2024, the Center received a special permit to alter a nonconforming structure was from the Great Barrington Zoning Board of Appeals, and site plan approval was granted by Town Planning Board.

17.) N/A

18.) N/A

Certification

19.) This application was prepared, reviewed, and submitted by:

Name: Eugenie Sills, Grants Consultant
Ph: 413-329-8748 Email: esillsconsulting@gmail.com

Name: John Lloyd, Interim Executive Director
Ph: 617.359.0099 Email: jlloyd@duboisfreedomcenter.org

I hereby certify that all of the above and included information is true and correct to the best of my knowledge. [For non-municipal applicants only: I further declare my willingness to enter into a Contract with the Town of Great Barrington to govern the use and expenditure of CPA funds.]

Signature:  _____ Date: 12/2/25

Signature:  _____ Date: 12/2/25

Attachments

- Question #5 continued (CVs)
- Images
- Project narrative, timeline, budget
- Letters of support
- Separate: A/E package (Phase IB Basement drawings, site plan, etc.)

JACOB BEK, RA, NCARB, LEED AP

Principal Architect

EDUCATION

- Master of Science, Architectural Association School of Architecture
- Bachelor of Architecture (Honors), Pratt Institute
- Studio Exchange, Central Academy of Fine Arts
- Associate of the Arts, Bard College at Simon's Rock

AFFILIATIONS

- Licensed Architect, New York, Massachusetts, New Jersey
- Member, Architectural Association, Inc.
- Member, USGBC (United States Green Building Council)
- LEED AP, Leadership in Energy and Environmental Design
- National Council of Architectural Registration Boards
- Board Member, Berkshire Habitat for Humanity

PROFESSIONAL EXPERIENCE

2014 - Present	Founder, JBA Collective, New York, NY
2022 - Present	Principal, Clark Green + Bek, Great Barrington, MA
2009 - 2015	Co-Founder, studioMADOUHBEK, New York Kuwait
2011 - 2012	Faou Foundation Mariko Mori Studio, New York, NY
2009 - 2010	Reiser + Umemoto, RUR Architecture PC, New York, NY
2007 - 2010	Norman Foster and Partners, New York London
2006 - 2007	Nelligan White Architects PLLC, New York, NY
2004 - 2006	RSVP Art and Architecture Studio PLLC, Brooklyn, NY

ACADEMIC EXPERIENCE

- Visiting Professor, Pratt Institute School of Architecture + Interior Design
- Adjunct Professor, Parson School of Design – The New School
- Adjunct Professor, Fashion Institute of Technology
- Invited Critic, Ongoing Pratt Institute School of Architecture

AWARDS, EXHIBITIONS, LECTURES and WORKSHOPS

- Public Exhibition: Median Frequency, Beyond the Centerline, Shortlisted Competition Entry, Park Avenue Plaza, Feb 2018
- IDA - International Design Awards, Bronze Metal, Residential Nasima, 2017
- New Views: Art and Design Faculty Exhibition, FIT, 2015
- Lynn and Carl Goldstein Gallery, JBA Current Works, 2015
- On View Now THE SPACES | SELECT : Exhibition and Book Launch, sMB Current Works, 2014
- studioMADOUHBEK Works, Kansas Gallery New York, 2013
- First Day on the Job Symposium, AIA NY, 2013
- Downtown Design, Center for the Now, Dubai, 2013
- TU Awards, Finalist Achievement in Engineered Timber Award, Birmingham UK, 2013

STEVE MCALISTER, AIA, NCARB

Senior Architect

EDUCATION

- Master of Architecture, University of Utah
- Bachelor of Arts, History, University of Utah
- National Council of Architectural Registration Boards
- Licensed Architect, Louisiana, Connecticut and Massachusetts
- Foreign Study: Bergen, Norway

PROFESSIONAL EXPERIENCE

2001 - Present	Clark Green + Bek (formerly Clark & Green), Great Barrington, MA
1999 - 2001	Associate, P2 Architects, LLC, Plainville, CT
1988 - 1999	Principal, McAlister Architects, New Hartford, CT
1986 - 1988	Senior Architect, Galliher & Baier Architects, Simsbury, CT
1983 - 1985	Senior Architect, Haspel Kansas Inc., New Orleans, LA
1980 - 1982	Architect, August Perez Associates Inc., New Orleans, LA
1977 - 1979	Intern, Brixen & Christopher Architects, Salt Lake City, UT

COMMUNITY SERVICE

- Zoning Board of Appeals, Town of Great Barrington, MA
- Board Member, Berkshire South Regional Community Center, Great Barrington, MA
- Past Chairman, Town of Tolland Planning & Zoning Board, Tolland, MA

DESIGN AWARDS

- Collinsville Congregational Church Sanctuary Renovations, Collinsville, CT
- Connecticut Society of Architects Honor Award for Design, 1993
- National Historic Register Project
- #10 Courtyard Building Addition, Simsbury, CT
- Greater Hartford Architecture Conservancy Merit Award for Renovation, 1989
- Emery Economics Building Addition, University of Utah, Salt Lake City, UT
- American Institute of Architects, Western Region Honor Award, 1983
- National Historic Register Project
- Horsemen's Building, New Orleans
- Historic District Landmarks Commission of the City of New Orleans
- Honor Award for New Construction, 1984
- Toney's Restaurant Renovation, Bourbon Street, New Orleans
- Vieux Carre (French Quarter) Commission of the City of New Orleans
- Merit Award for Renovation, 1982



TOBIAS BERNECKER

Project Designer, Project Manager

EDUCATION

- Master of Architecture Technical, University of Massachusetts
- Vordiplom, University of Berlin, Germany; foreign study at University of Liverpool, UK
- Foreign Study in Europe – Berlin, Germany

PROFESSIONAL EXPERIENCE

2021 - Present	Clark Green + Bek (formerly Clark & Green), Great Barrington, MA
2018 - 2021	Project Manager, agn architekten halle, Halle, Germany
2017 - 2018	Architect Intern, Metcalfe Associates Architecture, Northampton, MA
2014 - 2017	Project/Product Manager, Menck Windows, Chicopee, MA
2012 - 2014	Associate, Dietz & Company Architects, Springfield, MA
2012	Designer, ZERZA Architects, New York City
2008 - 2009	Drafter, Artist, University of Massachusetts Campus and Facilities Planning

COMMUNITY SERVICE

- Personal Care Attendant Volunteer, Kfar Tikvah, Quiriat Tivon, Israel, 2000-2001

DESIGN AWARDS, EXHIBITIONS

- Honorable Mention, Affordable Housing Design Competition, Salzburg, Austria, 2012 (with ZERZA Architects)
- 2D3D-2: Drawing in the Post-Digital Age, Woodbury University, Los Angeles, 2012
- MIRA LOOK: New Visions for Architecture, Holyoke, MA 2009



REPRESENTATIVE HISTORICAL BUILDING STUDIES & REHABILITATION PROJECTS

Tyringham Union Church Tyringham, MA – 2023 Massachusetts Register of Historic Places	Structural stabilization of front colonnade and overseeing of future improvements.
John James Memorial Hall Goshen, MA - 2023 National Register of Historic Places	Stone conservation, historic window rehabilitation, lower roof replacement and other improvements and repairs.
W.E.B. Du Bois Freedom Center Great Barrington, MA - 2023 National Register	Historic Structure Report and design for conversion of 1886 shingle-style Black church into cultural center/museum.
East Otis Schoolhouse East Otis, MA - 2022 Register- eligible	Stabilization and future renovation of one-room schoolhouse used for over a century.
James Weldon Johnson Writing Studio Great Barrington, MA -2022 National Register (pending)	Rehabilitation of small studio cabin in which Johnson wrote some of his greatest Harlem Renaissance works.
Herman Melville's Barn Pittsfield, MA – 2020 National Register	Renovations to 19 th century barn at Herman Melville's estate, "Arrowhead," where <i>Moby Dick</i> was written.
First Congregational Church Manse Great Barrington, MA - 2022 Massachusetts Register	Stone exterior rehabilitation of pastor's residence designed by noted Boston architects Peabody & Stearns.
Spectacle Pond Farm Sandisfield, MA – 2020 Massachusetts Register	Structural stabilization of unusual and relatively intact 18 th and 19 th century barn and abattoir.
St. Paul's Church Otis, MA – 2018	Stabilization design for 1828 church in small New England village setting.
Superintendent's House Beartown Mountain State Forest Monterey, MA - 2018 Massachusetts Register	Structural stabilization and preservation of original 19 th century dwelling with early 20 th century modifications
The Bidwell House Museum Monterey, MA – 2015-17 National Register	Historic Structure Report, structural stabilization, reroofing design and barrier removal project.

Abbreviated Qualifications

John M Wathne, PE

President, Principal Structural Engineer

EDUCATION

BS, Civil Engineering

Lehigh University,
Bethlehem, PA

REGISTRATIONS

Connecticut
Maine
Massachusetts
New Hampshire
Rhode Island
Alabama
New York

AFFILIATIONS

American Society of Testing
and Materials, Committee
C12.03.3, Chair
International Concrete
Repair Institute, Committee
410 Co-Chair
Association for Preservation
Technology
Preservation Massachusetts
Boston Preservation Alliance
Historic Salem Inc, 55 year
old arch. pres. society,
President '95-'97
Marblehead Arts
Association- Juried Artist
Member

PROFILE

Mr. Wathne has a wide range of structural analysis and design experience related to historic building restoration and renovation, and considerable bridge experience. He has over 30 years of experience in nearly all types of existing structures with an emphasis on construction built before or during the nineteenth century. He has hands-on experience with masonry restoration and post and beam timber framing and significant inspection, analysis, and design experience with concrete, terra-cotta, brick, stone, timber, and iron and early low carbon steel structures in archaic as well as modern-day applications. He is experienced in the restoration and repair of totally preserved structures as well as the adaptive re-use of partially preserved and abandoned structures. He also conducts construction administration on many of the firm's projects, involving frequent site meetings, submittal review and responses to contractor RFIs

Mr. Wathne also has rare training and frequent practical experience in macroscopic and microscopic identification of wood species as well as timber investigation to identify defects and causes of biological attack, using visual inspection, microscopy and resistance-drilling.

He was also a pioneer in the development of thermal pre-stressing for the reinforcement of existing steel structures under load (Modern Steel Construction, Feb. 1996), and has completed and presented research on the subject of historical physical property test data for Natural Cement (April 1, 2005, Rosendale, NY) at the first North American Natural Cement Conference.

Mr. Wathne is an expert in the evaluation of historic masonry and the design and specification of mortars for historic structures. He is the chair of American Society of Testing and Materials (ASTM) Task Group C12.03.03 that has recently completed development of ASTM's new "Standard Specification for Mortars for Existing Masonry", ASTM C1713, now published in 30 countries.

Mr. Wathne is also the co-chair of the Masonry Committee (410) of the International Concrete Repair Institute.

He is also the inventor and patent holder of the "Port Anchor", an integrated Tying and Grout Injection system that restores composite action to debonded mass masonry construction and the founder and owner of VoidSpan Technologies, LLC.

SAMPLE PROJECTS

Fort Sumter NHS, Charleston, SC

Structural Evaluation of historic brick and stone masonry fortress that was the site of the first shot of the American Civil War. Made recommendations for stabilization of structural vault, pier and wall construction and general recommendations compatible restoration materials based upon new ASTM specification.

Granary Burying Ground, Kings Chapel Burying Ground, Boston

Evaluation and restoration of historic grave markers and tombs, and reconstruction of collapsed subsurface brick burial vaults using suspended shields (to protect remains) and historically compatible masonry materials and techniques.

Independence Hall, Philadelphia, PA

Restructuring of the four glazed clock faces to include an innovative torsional ring wind stiffening system with no shadow lines, along with other masonry and timber cornice repairs.

Louisa May Alcott's Orchard House, Concord, MA

Structural repairs to historic museum and former Alcott residence funded by Save America's Treasures. Project included extensive timber repairs, chimney and foundation wall underpinning, and suspension of entire rear half of house during construction of new foundation while it remained open as museum.

Worcester Clock Tower, Worcester, MA

Investigation and documentation of condemned Kirkbride era state hospital building with prominent clock tower element, managed dismantling and demolition of the structure, then reconstruction of 140 foot tower element using a mix of salvaged and supplemental materials as a free standing structure. New structure has a tubular, seismically resistant reinforced concrete core with a suspended brick and salvaged stone veneer of 8" to 20" thickness.

Modern Theater, Boston, MA

Ph1- Inspection, evaluation, monitoring and emergency structural stabilization of Boston's first movie-house following 20-year abandonment and extensive damage to structural framing and exterior masonry.

Ph2- Dismantling and reassembly of historic stone façade on front of new multi-story dormitory and theater as part of Suffolk University. Reassembled 20"-thick stone façade incorporates hidden supports, braces and relief joints that will allow it to deform by up to 2" in any direction as part of overall building movements during an earthquake with no significant damage.

Staple Bend Tunnel / Allegheny Portage Railway NHS, Mineral Point, PA

Project included abutment repairs and restoration of 20" thick sandstone liner of first railway tunnel in the Americas. Traditional pointing and project-specific deep jetting and grouting techniques (developed by our office) were used in a phased manner.

Abbreviated Qualifications

Jillian S. Borghardt, EIT

Structural Engineering Preservation Designer

EDUCATION

MSc: Structural Analysis of Monuments and Historical Constructions

University of Minho,
Guimaraes, Portugal

BE, Civil Engineering

Stony Brook University,
Stony Brook, NY

AFFILIATIONS

Association for Preservation
Technology

Boston Preservation Alliance

SAMPLE PROJECTS

PROFILE

Ms. Borghardt has focused her education and career on the restoration of historic structures through the art of structural preservation engineering. She earned her Master's degree at the University of Minho, in Portugal where she cultivated her passion for preservation. Her Master's thesis focused on the cross-sectional analysis of the ancient masonry columns of the Carmo Convent in Lisbon. Her investigations required specialized use of NDTs including GPR, as well as ultrasonic and sonic tomography.

Upon the completion of her degree, she joined Structures North and has been working on a variety of interesting projects throughout the New England region, including historic homes and house museums, places of worship, institutions, crypts, event spaces, abandoned mills and university buildings. Her unique educational experience is serving her well with the diversity of historic and modern materials and construction types with which she is presently involved in on a daily basis.

The Wright Tavern, Concord, MA

Structural evaluation and analysis of the historic 1747 wood framed tavern and its brick masonry foundations walls. Developed and designed reinforcing details to satisfy the increased live load of the first and second floor for the adaptive reuse of the Minutemen's meeting house, while maintaining its historic feel and appearance for future museum use.

Oakes Ames Truss Repair, Easton, MA

Emergency stabilization of rotted truss end of the H.H. Richardson memorial hall. Conducted structural analysis of the truss system and repair design and performed resistance drilling of the affected member. Developed the construction drawings and reviewed the shop drawings for the repair design to be implemented.

Central Burial Grounds, Boston, MA

Performed emergency survey of collapsed tomb in the Boston Common and developed immediate design repair methods of the 1756 brick arch vault system. Conducted overall inspection of remaining tombs and produced summary report to preemptively repair surrounding tombs while respecting original construction.

Steven A. Mack, P.E.

President | Principal Engineer
Foresight Land Services, Inc.

 Pittsfield, MA |  smack@foresightland.com | 413-499-1560

Professional Summary

Accomplished and results-driven **Professional Engineer** with over **30 years of experience** in civil engineering, project management, and municipal infrastructure design. Proven leadership as **Principal Engineer and President** of Foresight Land Services, overseeing multidisciplinary teams in engineering and surveying. Demonstrated expertise in planning, permitting, design, and administration for residential, commercial, and municipal projects. Recognized for fostering collaborative relationships with architects, contractors, and public officials to deliver complex projects on time and within budget.

Professional Experience

Foresight Land Services, Inc. — *Pittsfield, Massachusetts*

President | Principal Engineer
1994 – Present

- Provides executive leadership and strategic direction for all **engineering and surveying operations**.
- Manages and coordinates a diverse range of civil engineering projects, including **residential site design, commercial development, and municipal infrastructure**.
- Serves as the firm's principal engineering representative, collaborating with multidisciplinary design teams comprising architects, landscape architects, and various engineering disciplines.
- Leads public presentations and permitting processes before **local and state regulatory authorities**.
- Directs project design and management for complex municipal works involving **roadways, bridges, water and sewer systems, dams, drainage, and slope retention**.
- Oversees **construction administration, layout, and quality control** throughout project lifecycles.
- Builds and maintains relationships with city and town officials to modernize community infrastructure.

Select clients/projects include Blantyre Resort, Canyon Ranch, Miraval/Cranwell Resort & Golf Club, Tanglewood/Boston Symphony Orchestra, Elm Court Estate, Towns of Lee, Lenox, Great Barrington, Sheffield, Stockbridge and others, Kimball Farms, Miss Hall's School, Berkshire School, Edith Wharton Restoration, Stockbridge and Wyantenuck Golf Courses

Town of Lee – Department of Public Works, Engineering Division

Civil Engineer Before 1994

- Developed a comprehensive **town-wide water distribution mapping system and database.**
 - Supported public works design and maintenance activities focused on water and sewer infrastructure.
-

Education

- **Master of Science, *Rensselaer Polytechnic Institute*, 2004**
 - **Bachelor of Science in Civil Engineering, *Worcester Polytechnic Institute*, 1995**
 - Additional Continuing Education in Civil and Environmental Engineering
-

Professional Licenses & Certifications

- **Registered Professional Engineer – Massachusetts and New York**
 - **Registered Title V Soils Evaluator – Massachusetts**
-

Professional Affiliations

- **American Society of Civil Engineers (ASCE)**
 - **Boston Society of Civil Engineers**
 - **United States Green Building Council (USGBC)**
 - **American Water Works Association (AWWA)**
-

Civic Involvement

- Member **West Stockbridge Affordable Housing Trust**
- Past **Conservation Commission Member and Chair**
- Past **Berkshire Youth Hockey Coach and Board of Directors**
- Past **Youth Soccer and Baseball Coach**

Conceptual Renderings



Conceptual rendering by Clark, Green + Bek ©2024

DU BOIS FREEDOM CENTER



Conceptual rendering by Clark, Green + Bek ©2024

DU BOIS FREEDOM CENTER

Recently completed work 2024-2025 (Phase IB Structure)



Completed roof with cedar wood shingles and rebuilt chimney



Interior roof and truss stabilization, new structural beam





Belfry rebuild, new clapboards and wood shingled roof





Structural repair, replacement, and upgrades of sills, floors, and walls

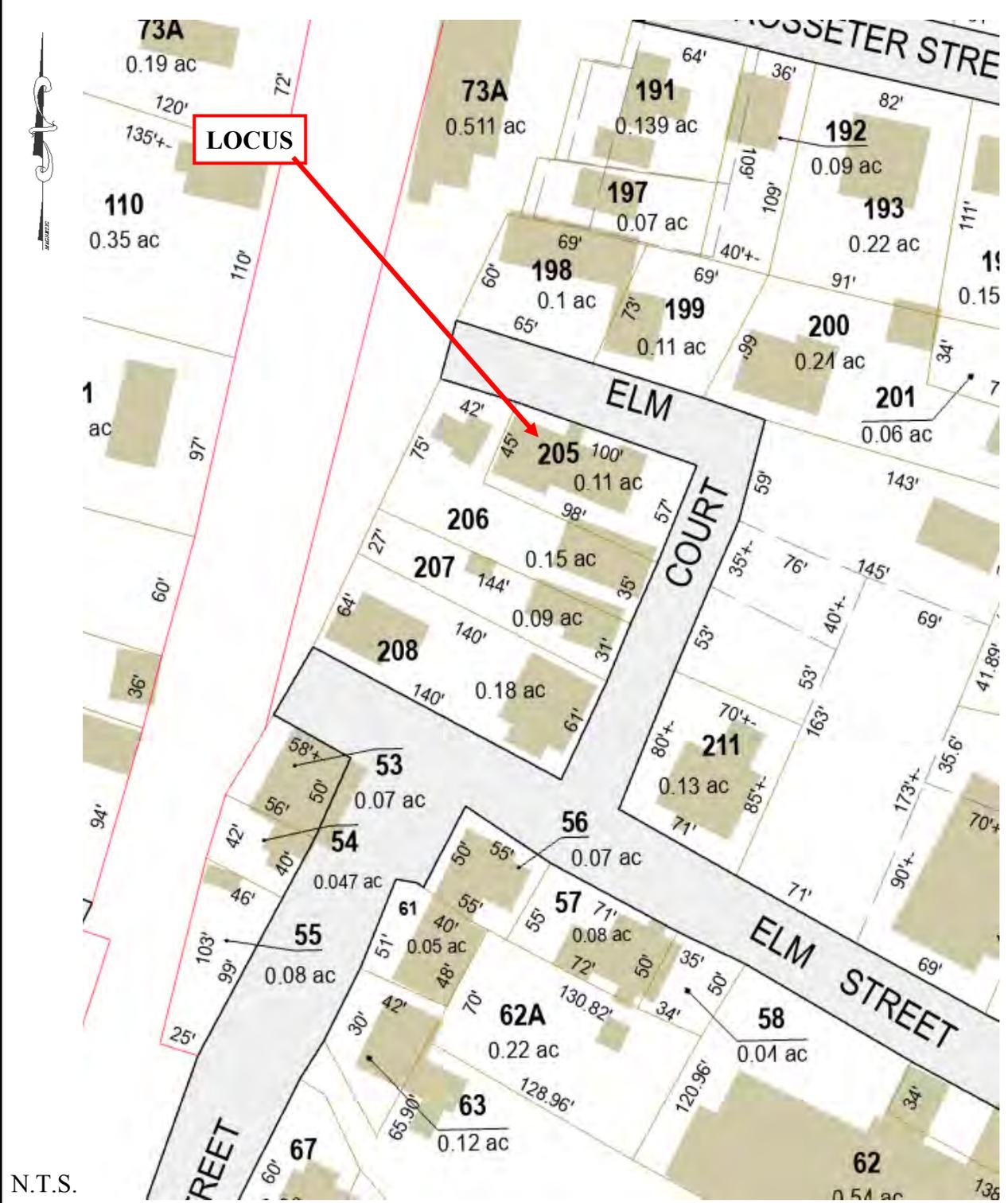




Exterior wall repair, clapboard replacement, new gutters



TOWN OF GREAT BARRINGTON ASSESSOR'S MAP



N.T.S.

FORESIGHT LAND SERVICES
ENGINEERING • SURVEYING • PLANNING
1496 West Housatonic Street
Pittsfield, MA 01201
FLS Project #E3085

Exhibit A-5
USGS Great Barrington QUAD, 1987 ed.
Source: AxisGIS
9 Elm Court
Great Barrington, MA

November 20, 2025

The Du Bois Freedom Center Phase 1B Basement Scope Description

Phase 1B Basement will focus on the installation of new footings and foundation walls for the former Clinton A.M.E. Zion Church.

The site preparation will include the excavation of existing site to the basement level on the north side of the property, as well as the construction of shoring walls, berms, and ramps for machinery. The existing wood framed structure will be lifted to allow for the demolition of the existing field stone foundation. Previous construction phases focused on the stabilization of the building structure and preservation of the building envelope – which makes lifting the building at the sill level above the existing masonry foundation walls possible. The demolition will remove the existing sidewalk on the north side of the property, as well as all existing foundation walls and footings.

New reinforced concrete footings and foundation walls under the existing building will be formed and poured. At the new addition, footings and all underground concrete work will be carried out. All openings will be temporarily closed. An exterior water barrier will be installed at footings and foundation walls. This will offer protection against standing ground water. These water barriers will be tied into the overall waterproofing design of underground and ground adjacent building components later.

At this stage footing drains will be installed. There will also be a temporary pumping system for potential rainwater or run-off mitigation from inside the building footprint. The building will be lowered onto and connected to the new foundation walls. All support structures from the lifting operation will be removed. Temporary columns and a temporary sump pump will be installed to ensure the structure's safety in the interim period before Phase II construction.

The site's space limitations and the proximity to the neighbor's property lines on the south and west create challenges both for construction site logistics and the building lifting operation. Because of these constraints, the cribbing to support the south and west walls will be placed below the building, preventing the pouring of the new ground floor slab during this phase. The upside of this circumstance is that the water situation at and under the building can be observed in the interim and the architectural and civil design can react to these findings before finalizing the Phase II plans.

Du Bois Freedom Center Project Timeline								
Phase IB Basement								
<i>Planned for 2026-2027</i>	Month 1-3	Month 4-5	Month 6-9	Month 10-12	Month 13-15	Month 16-18	Month 19-21	Month 22-24
A/E Design and Approvals								
Construction drawings								
Agency review (SHPO)								
Bid Package + Specs								
Solicit Bids / Contract Award								
Bidding period								
Contractor qualifications approval								
Award and contract negotiation								
Submittals / Approvals / Permits								
Building permit								
Preconstruction (subs lift plan + review)								
Construction and Closeout								
Mobilization								
Pre-lift, lift, foundation, drainage								
Lift building (incl cribbing, steel needling)								
Post-lift and site work								
Close out								
<i>Submitted to CPA grant 12/3/25</i>								

Du Bois Freedom Center Project Budget Estimate

Phase IB Basement

Planned for 2026-2027

Project Costs

Direct Costs*

Temporary Support and Protection	15,000	
Building Raise Allowance	400,000	
Selective Demo	81,500	
Cast-in-place Concrete	149,650	
Masonry, Metals, Woods	32,000	
Thermal + Moisture Protection	23,760	
Plumbing, HVAC, Electrical Disconnects	7,000	
Sitework	113,675	
	<i>Subtotal hard costs</i>	822,585

General Conditions, OH/Profit 25%	205,646	
Estimating/Construction Contingency 20%	205,646	
Escalation 2.5 years @ 5%	154,235	
	<i>Subtotal GC, OH/P, contingency, escalation</i>	565,527

Soft Costs

Architectural and Engineering Fees	135,580	
Other Consultants (e.g., plaster, archaeology monitoring)	10,000	
Project Management	35,000	
	<i>Subtotal soft costs</i>	180,580

Add'l Costs

Indirect	25,000	
Legal and Builder's Risk insurance (~3%)	45,000	
	<i>Subtotal add'l</i>	70,000

Total Expenses **\$1,638,692**

**Based on professional cost estimate Mar '24 (escalation to mid-point of construction)*

Funding Sources

Town of GB CPA Grant	this request	250,000
Mass Office of Travel & Tourism DDC Grant	secured	155,000
Nat'l Trust AACH Action Fund Grant	pending	250,000
Mass Cultural Facilities Fund Grant	pending	200,000
Private Foundation Grant	pending	250,000
Add'l Federal, State, Foundation Grants	planned	450,000
Individual donations	planned	83,692

Total Funding Sources **\$1,638,692**

Submitted to CPA grant 12/3/25



SENATOR PAUL W. MARK
*Berkshire, Hampden, Franklin
and Hampshire District*

The Commonwealth of Massachusetts
MASSACHUSETTS SENATE

STATE HOUSE
BOSTON, MA 02133-1053
TEL. (617) 722-1625
FAX. (617) 722-1523
PAUL.MARK@MASENATE.GOV
WWW.MASENATE.GOV

November 12, 2025

Ms. Karen Smith
Chair, Community Preservation Commission
Town of Great Barrington
334 Main Street
Great Barrington, MA 01230

Dear Ms. Smith:

As State Senator for the Berkshire, Hampden, Franklin, and Hampshire District, I am pleased to offer my strong support for the Du Bois Freedom Center's application for a \$250,000 Community Preservation Act grant from the Town of Great Barrington. Restoration of the historic Clinton A.M.E. Zion Church for adaptive reuse as an African American cultural heritage center is a unique and important project that will enrich the region's cultural landscape and contribute to its economic vitality.

The requested funds will be used for the project's next phase of restoration work, which involves raising the building 24" and pouring a new waterproof foundation that will allow for a usable, code-compliant basement — a major step in ensuring the long-term viability of this historic structure. The Center was recently awarded a MOTT Destination Development Capital Grant, which will also support this work.

Once completed, the Center will present interpretive exhibits that educate the public about the life and legacy of Great Barrington native, W.E.B. Du Bois, and the rich African American history of the Berkshires. Educational programming, cultural events, and other gatherings will return this important National Register property to the center of community life, serving as a hub of activity for students, residents, and tourists alike.

As part of the Downtown Great Barrington Cultural District and a site on the Upper Housatonic Valley African American Heritage Trail, this new destination will connect

visitors to a broader network of historic and educational experiences in Great Barrington. Guests will be encouraged to visit the nearby Mason Library, home to a recently installed sculpture of Du Bois, as well as Town Hall, where Elizabeth Freeman made her pivotal contribution to American history.

The Du Bois Freedom Center's plans align closely with the Commonwealth's goals of supporting rural tourism, cultural preservation, and economic development, while also meeting climate resilience standards.

I am confident that this project will make a lasting contribution to Great Barrington and the Berkshires, and I urge your full support for this important and timely initiative.

Sincerely,

A handwritten signature in blue ink, appearing to read "Paul W. Mark". The signature is fluid and cursive, with the first name "Paul" and last name "Mark" clearly distinguishable.

Paul W. Mark, *State Senator*
Berkshire, Hampden, Franklin & Hampshire District



The Commonwealth of Massachusetts

HOUSE OF REPRESENTATIVES
STATE HOUSE, BOSTON 02133-1054

LEIGH DAVIS
STATE REPRESENTATIVE
3rd BERKSHIRE DISTRICT

STATE HOUSE, ROOM 134
TEL: (617) 722-2400
Leigh.Davis@mahouse.gov

November 21, 2025

Ms. Karen Smith, Chair
Community Preservation Commission
Town of Great Barrington
334 Main Street
Great Barrington, MA 01230

Dear Ms. Smith,

I am pleased to offer my strong support of the Du Bois Freedom Center's application for a CPA grant from the Town of Great Barrington. As the Massachusetts State Representative for the 3rd Berkshire District, and a resident of Great Barrington, I understand the importance of this vital project to restore the historic Clinton A.M.E. Zion Church for adaptive reuse as an African American heritage site and cultural center dedicated to educating the public about the life and legacy of civil rights pioneer W.E.B. Du Bois and the Berkshires' rich African American history.

Its preservation is not only about saving a historic structure—it is about ensuring that the story of Black life in rural New England is visible and celebrated.

Built in 1887 by the A.M.E. Zion Society, the Clinton A.M.E. Zion Church served as the spiritual, cultural, and political heart of the local African American community for nearly 130 years. Long a beacon of activism, the church provided a rich variety of performances, guest speakers, and children's classes in music and public speaking. Long a focal point for social and political activism, the church hosted meetings of the local NAACP chapter in the 1950s and '60s, as well community discussions on poverty and human rights.

In my role at the State House, I work closely with the Massachusetts Black and Latino Legislative Caucus to advance equity and justice across the Commonwealth. The Clinton A.M.E. Zion Church, and this planned Center, represent exactly the kind of history and community impact that the Caucus and I champion: preserving places of African American resilience, telling fuller stories of our past, and investing in institutions that will inspire future generations. My lifelong commitment to civil rights and to commemorating our leaders is deeply influenced by my father, Lloyd Davis, who was a leader in the establishment of Martin Luther King Jr. Day in the United States. This project embodies that same dedication to honoring the legacies of our civil rights leaders and ensuring their lessons endure.

The vision for the Du Bois Freedom Center aligns powerfully with Massachusetts' values of education, equity, and cultural vitality. Once restored, the Center will provide exhibit and program space that connects residents, students, and visitors to African American history, while

also strengthening the local economy through heritage tourism. As part of Great Barrington's Cultural District and the Upper Housatonic Valley African American Heritage Trail, this project will significantly enhance our region's cultural infrastructure.

The Du Bois Freedom Center's work to rehabilitate and transform this National Register site is essential to advancing the cause of preservation and justice in the Commonwealth, and I strongly urge you to fully fund their grant request.

Thank you for your consideration of this important project.

Sincerely,

A handwritten signature in black ink, appearing to read 'Leigh Davis', with a stylized flourish at the end.

Leigh Davis, State Representative
3rd Berkshire District



Ms. Karen Smith
Chair, Community Preservation Committee
Town of Great Barrington
334 Main Street
Great Barrington, MA 01230

November 17, 2025

Dear Ms. Smith,

As SVP of 1Berkshire, the Regional Economic Development Organization and Regional Tourism Council for the Berkshires, I offer our strong support for the Du Bois Freedom Center’s application for a Community Preservation Act grant from the Town of Great Barrington.

This transformational project to restore the historic 1887 Clinton A.M.E. Zion Church for adaptive reuse as an African American cultural heritage center is a great opportunity for the region. Once open, the Center will feature interpretive exhibits and programming, and serve as a gathering space for the broader community. In addition to educating the public about the life of civil rights pioneer W.E.B. Du Bois, who was born and raised in Great Barrington, the Center will illuminate the Berkshires’ rich Black history and serve as hub for the Upper Housatonic Valley African American Heritage Trail.

The Center brings a nationally significant cultural attraction to the core of Great Barrington’s Designated Cultural District. While home to a number of esteemed cultural institutions, there is currently no museum in Great Barrington. This project will fill that gap, drawing visitors into the walkable center of town, where they can explore other heritage sites, including the Mason Library (home to a new sculpture of Du Bois) and Town Hall, which commemorates Elizabeth Freeman’s 1781 lawsuit that helped end slavery in Massachusetts.

The initiative promises to expand the reach and diversity of our existing tourism base, drawing younger and more diverse audiences from near and far, and enhance cultural equity in Berkshire tourism offerings.

Expanding the visitor base is not only a cultural imperative—it is an economic necessity. According to the Massachusetts Office of Travel and Tourism, Berkshire County welcomes over 2.6 million visitors annually, generating more than \$600 million in direct spending. Tourism supports over 5,000 jobs in the county. As the region continues to rebound from the economic impacts of COVID-19, attracting broader and more inclusive audiences will be critical to ensuring a resilient and sustainable visitor economy.

1Berkshire strongly supports this visionary project, which aligns with regional tourism priorities and the Commonwealth’s goals for economic development, rural revitalization, and inclusive cultural investment. The museum will enhance the downtown and support the theater and music venues within the district by offering a full lineup of educational, historic, and artistic events for tourists. We urge your full consideration and support for this meaningful endeavor.

Sincerely,

Lindsey Schmid
Sr. VP of Marketing & Tourism/ RTC Director
1Berkshire Strategic Alliance, Inc.

Made possible by our 1Berkshire Leadership Circle Investors



Great Barrington Historical Commission

c/o Selectmen's Office

Town Hall

334 Main Street

Great Barrington, MA 01230

Malcom Fick, Chairman • 413-645-3060 • Malcolm.fick@gmail.com

November 13, 2025

Ms. Karen Smith, Chair
Community Preservation Committee
Town of Great Barrington
334 Main Street Great Barrington, MA 01230

RE: Community Preservation Funds for Du Bois Freedom Center Restoration Project

Dear Chairperson Smith and Members of the Community Preservation Committee:

The Great Barrington Historical Commission strongly endorses the Du Bois Freedom Center's application for Community Preservation Act support of its restoration work on the former Clinton A.M.E. Zion Church (1887, National Register of Historic Places). The project goals are to raise the building 24" and pour a new waterproof foundation to address longstanding water infiltration problems to further preserve this historic structure.

Indeed, the Du Bois Freedom Center's timely and sensitive intervention has arrested the destructive forces of nature, man and time that had combined to ravage this landmark. The church building and connected parsonage had suffered from deferred maintenance, poor drainage, severe mold, leaking roofs and water infiltration, the New England freeze-thaw cycle and the rotting of building parts. Over the course of their stewardship the Du Bois Freedom Center has made significant progress in stabilizing the structure using funds from Town, State and private sources.

The Du Bois Freedom Center's program to adaptively use this prominent National Register property as a visitor and community center to celebrate our rich African American heritage, particularly the contributions of W.E.B. Du Bois, has emerged from a carefully considered and prudent textbook-like process, marked by detailed planning, strong community involvement and consultation with authorities in the fields of interpretive and program planning, architecture and engineering. Indeed, their hard work in developing a clear vision and project goals and laying out a phased course to bring them to fruition will result in the preservation of a local landmark that will enrich the cultural landscape and contribute to the economic vitality of Great Barrington.

The building is the embodiment of our town's African American history and culture and association with W.E.B. Du Bois and its preservation will not only save a significant legacy of this community but a piece of architecture that is a key component of our rich catalogue of

historic buildings. Clinton Church transformed Du Bois' understanding of the power and possibilities inherent in the Black church. The church and its community showed him the vitality that was possible there and not evident on the other side of the color line.

Funds from the Community Preservation Committee will continue to be transformational in furthering the goal of creating a true and living monument to Du Bois. The Great Barrington Historical Commission registers its enthusiastic support of this application.

Sincerely,

A handwritten signature in black ink, appearing to read "Malcolm Fick". The signature is written in a cursive style with a large initial "M" and a long, sweeping tail.

Malcolm Fick
Chairman
Town of Great Barrington Historical Commission



CLARK GREEN + BEK
ARCHITECTURE DESIGN
BERKSHIRES STUDIO
 309 MAIN STREET
 GREAT BARRINGTON, MA 01230
 PHONE + 413 528 5180

NEW YORK STUDIO
 115 WEST 29TH STREET, #1105
 NEW YORK, NY 10001
 PHONE + 212 219 9909

CONSULTANTS

DU BOIS FREEDOM CENTER PHASE 1B - BASEMENT ABBREVIATED CONSTRUCTION SCOPE PACKAGE 9 ELM COURT GREAT BARRINGTON, MA

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ON SITE ALL CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS NOTED PRIOR TO PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS - DIMENSIONS GOVERN. NOTIFY THE ARCHITECT OF ANY MISSING OR CONFLICTING DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK.
- DIMENSIONS FOR THIS SET OF DRAWINGS ARE SHOWN TO FACE OF CONCRETE AND FACE OF STUD, UNLESS NOTED OTHERWISE.
- REFER TO THE SPECIFICATIONS FOR REQUIRED SHOP DRAWINGS. CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS FOR REVIEW BY ARCHITECT.
- REFER TO THE SPECIFICATIONS FOR INFORMATION ON PROJECT GENERAL CONDITIONS, PERFORMANCE REQUIREMENTS, MATERIALS, ETC.
- OBSERVE STANDARD WORKING HOURS OF 7 AM TO 5 PM ON WEEKDAYS. ALL NOISE-GENERATING WORK SHALL BE CONDUCTED WITHIN THAT TIMEFRAME. WORK SHALL NOT BE PERFORMED ON WEEKENDS, NOR ON HOLIDAYS AS OBSERVED BY THE COMMONWEALTH OF MASSACHUSETTS.

BUILDING DEPARTMENT NOTES:

- WORK SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BYLAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE AUTHORITY OF ANY PORTIONS OF THE WORK IN THE CONTRACT DOCUMENTS THAT ARE AT VARIANCE WITH THE ABOVE.
- ALL MATERIALS, ASSEMBLIES, FORMS OF CONSTRUCTION, AND SERVICE EQUIPMENT REGULATED BY CODE SHALL MEET THE FOLLOWING REQUIREMENTS:
 - THEY SHALL HAVE BEEN FOR USE UNDER PRESCRIBED TEST METHODS BY THE BUILDING OFFICIAL, OR
 - SHALL BE LISTED AND LABELED BY A BUILDING OFFICIAL OR RECOGNIZED AGENCY TO MEET REQUIRED STANDARDS.
- MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - THEY SHALL COMPLY WITH CHAPTER 7 OF IBC 2015 WITH MASSACHUSETTS AMENDMENTS.
 - THEY HAVE BEEN TESTED IN ACCORDANCE WITH FIRE EXPOSURE AND ACCEPTANCE CRITERIA OF ASTM E119 OR UL 263.
 - THEY SHALL HAVE BEEN ACCEPTED PRIOR TO THE EFFECTIVE DATE OF THE CODE.
- THE CONSTRUCTION CLASSIFICATION OF THE BUILDING IS "TYPE V-B" (TABLE 601). THE CONSTRUCTION ELEMENTS SHALL BE OF THE REQUIRED MINIMUM FIRE RESISTANCE RATINGS AS OUTLINED IN TABLE 601 AND DEFINED IN CHAPTER 6 OF IBC 2015.
- AN ACCURATE AND COMPLETE FINAL SURVEY BY A DULY LICENSED SURVEYOR SHALL BE FILED AS AN AMENDMENT BEFORE COMPLETION OF THE PROJECT.
- THE CONTRACTOR'S LICENSED PROFESSIONAL IS RESPONSIBLE FOR FILING APPLICATION AND OBTAINING PERMITS FOR SCAFFOLDING, SIDEWALK BRIDGING, ANY OTHER CONSTRUCTION EQUIPMENT OR PUBLIC PROTECTIVES REQUIRED TO ENSURE SAFETY OF OPERATION AND THE PUBLIC AS PER IBC 2015 CHAPTER 33, SECTION 3306. THE CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING LETTER OF COMPLETION. APPLICATION FOR CONSTRUCTION PERMITS SHALL BE PROCESSED THROUGH THE TOWN OF GREAT BARRINGTON BUILDING DEPARTMENT.
- THE FOLLOWING SHALL BE MADE UNDER SEPARATE APPLICATION BY THE CONTRACTOR'S LICENSED PROFESSIONAL, IN ACCORDANCE WITH SECTION 28-104.2.6 OF TITLE 28:

PERMANENT ELEVATORS	PRIOR TO T. C. O.
TEMPORARY ELEVATORS	PRIOR TO PERMIT
MECHANICAL AND HAND DEMOLITION	
OPERATIONS PERMIT	PRIOR TO PERMIT
SIDEWALK SHEDS PERMIT	PRIOR TO PERMIT
CONSTRUCTION FENCES PERMIT	PRIOR TO PERMIT
CHUTES, SCAFFOLDS, HOISTS PERMIT	PRIOR TO PERMIT
- THE ITEMS LISTED IN NOTE 7 ABOVE UNDER SEPARATE APPLICATION, (i.e. DEFERRED TO BE FILED), SHALL NOT BE CONSTRUCTED PRIOR TO OBTAINING SUCH PERMIT.
- THESE DRAWINGS HAVE BEEN PREPARED BY OR AT THE DIRECTION OF THE UNDERSIGNED AND TO THE BEST OF UNDERSIGNED'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT ARE IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE AND MASSACHUSETTS REVISIONS.
- SITE SAFETY PLANS SHALL BE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO APPLYING FOR CONSTRUCTION PERMITS.

ZONING INFORMATION:

LOT: 205
 LOT AREA: 4850 SF (ESTIMATED)
 LOT FRONTAGE: 54.5 FT (EAST)
 98.6 FT (NORTH)
 45.0 FT (WEST)
 98.1 FT (SOUTH)
 1886

YEAR BUILT: 1886
 NUMBER OF BUILDINGS: 1
 GROSS FLOOR AREA: 1 (PARSONAGE)
 RESIDENTIAL UNITS: COMMUNITY CENTER
 LAND USE: B2
 ZONING: VCOD
 ZONING MAP NUMBER: 14
 LANDMARK BUILDING: YES
 HISTORIC DISTRICT: NO
 MINIMUM LOT AREA: 5000 SF
 MINIMUM LOT WIDTH: 50 FT
 MINIMUM FRONT YARD: 25 FT

BUILDING CODE INFORMATION:

PRIMARY OCCUPANCY: A-3

BUILDING FLOOR AREA: BASEMENT TBD
 FIRST FLOOR 1622 SF
 SECOND FLOOR 488
 TOTAL 2110 SF

BUILDING HEIGHT: 25 FT + 10 FT BELFRY

TYPE OF CONSTRUCTION: VB
 ONE-HOUR PROTECTION: NO
 SPRINKLERED: YES

OCCUPANT LOAD: BASEMENT
 FIRST FLOOR
 SECOND FLOOR
 TOTAL

FIRE PROTECTION AND SOURCE OF RATED ASSEMBLY ELEMENT (UL, FM, ETC):
 PARTY / FIRE WALLS
 INTERIOR BEARING WALLS
 INTERIOR NON-BEARING PARTITIONS
 COLUMNS
 BEAMS, GIRDERS, TRUSSES, ARCHES
 FLOOR / CEILING CONSTRUCTION
 ROOF / CEILING CONSTRUCTION
 EXTERIOR NON-BEARING WALLS
 SHAFT ENCLOSURES

OTHER FIRE PROTECTION:
 MECHANICAL ROOM SEPARATION
 OTHER SPECIAL FIRE PROTECTION
 DRAFTSTOPPING REQUIRED
 FIRESTOPPING REQUIRED
 SMOKE BARRIER REQUIRED

PROJECT IN FIRE DISTRICT: NO
 PROJECT IN FLOOD PLAN: NO
 PROJECT IN WETLANDS AREA: NO

PROJECT DESCRIPTION:

THE CURRENT PROJECT (PHASE 1B BASEMENT) CONSISTS OF LIFTING THE WOOD-FRAMED PORTION OF THE HISTORIC CHURCH (PREVIOUSLY KNOWN AS THE CLINTON CHURCH) OFF ITS FOUNDATION, DEMOLITION OF THE EXISTING BASEMENT LEVEL, CONSTRUCTION OF A NEW FOUNDATION, AND RE-SETTING THE WOOD-FRAMED PORTION OF THE CHURCH ONTO THE NEW FOUNDATION. THE CHURCH WAS FORMERLY AFFILIATED WITH THE AFRICAN METHODIST EPISCOPAL FAITH, AND HAS STRONG HISTORIC TIES TO THE LOCAL AFRICAN-AMERICAN COMMUNITY. THE PROJECT, WHICH WILL EVENTUALLY BE DEVELOPED INTO A MUSEUM AND CULTURAL CENTER, IS NAMED IN HONOR OF AFRICAN-AMERICAN SCHOLAR, ACTIVIST, AND INTELLECTUAL W. E. B. DU BOIS, WHO WAS BORN IN AND GREW UP IN GREAT BARRINGTON. AMONG MANY OTHER ACCOMPLISHMENTS, HE WAS ONE OF THE FOUNDING MEMBERS OF THE NAACP.

WORK PREVIOUSLY COMPLETED UNDER PHASE 1B PART 1 CONSISTED OF BUILDING STABILIZATION MEASURES, AND THE ADDITION OF NEW CEDAR SHINGLE ROOFING, WITH NEW COPPER GUTTERS AND DOWNSPOUTS.

PROJECT TEAM:

PROJECT ARCHITECT
 CLARK + GREEN AND BEK
 309 MAIN STREET
 GREAT BARRINGTON, MA 01230
 PHONE: (413) 528-5180
 WEB: clarkandgreen.com

PROJECT ARCHITECT: STEVE McALISTER
 PHONE: (413) 528) 5180 EXT 102
 EMAIL: steve@clarkandgreen.com

PROJECT MANAGER: TOBIAS BERNECKER
 PHONE: (413) 270-2406 (C)
 EMAIL: tbernecker@clarkandgreen.com

SURVEYOR / CIVIL ENGINEER
 FORESIGHT LAND SERVICES, INC.
 1496 WEST HOUSATONIC STREET
 PITTSFIEL D, MA 01201
 PHONE: (413) 449-1560
 FAX: (413) 449-3307
 WEB: foresightland.com

LANDSCAPE ARCHITECT
 WALTER CUDNOHOFSKY ASSOCIATES, INC.
 455 BUG HILL ROAD
 ASHFIELD, MA 01330
 PHONE: (413) 628-4600
 FAX: (413) 628-0117
 WEB: wcalia.com

PROJECT MANAGER: CHUCK SCHNELL
 PHONE: (413) 923-1859
 EMAIL: cschnell@wcala.com

STRUCTURAL ENGINEER
 STRUCTURES NORTH CONSULTING ENGINEERS INC.
 60 WASHINGTON STREET, SUITE 401
 SALEM, MA 01970-3517
 PHONE: (978) 745-6817
 FAX: (978) 745-6067
 WEB: structures-north.com

PROJECT ENGINEER: JOHN WATHNE
 PHONE: jwathne@structures-north.com

JURISDICTION:
 TOWN OF GREAT BARRINGTON, MASSACHUSETTS
 BUILDING DEPARTMENT / INSPECTIONAL SERVICES
 334 MAIN STREET
 GREAT BARRINGTON, MA 01230
 PHONE: (413) 528-1619 x 2600
 FAX: (413) 528-3206
 WEB: townofgb.org

BUILDING COMMISSIONER: MATTHEW KOLLMER
 PHONE: (413) 528-1619 X 2602

ELECTRICAL INSPECTOR: THEODORE PIONTEK
 PHONE: (413) 274-6605

PLUMBING INSPECTOR: ROBERT KRUPSKI
 PHONE: (413) 229-8019

GAS INSPECTOR: ROBERT GENNARI
 PHONE: (413) 274-0267

PLANNING DEPARTMENT
 334 MAIN STREET
 GREAT BARRINGTON, MA 01230
 DIRECTOR OF PLANNING: CHRISTOPHER REMBOLD
 PHONE: (413) 528-1619 X 2400
 FAX: (413) 528-2290

VICINITY MAP
NOT TO SCALE



HISTORICAL REVIEW:

TECHNICAL PRESERVATION SERVICES
 NATIONAL PARK SERVICE
 1849 C STREET, NW
 MAIL STOP 7243
 WASHINGTON, DC 20240
 PHONE: (202) 513-7270
 WEB: nps.gov/orgs/1739/index.htm

LEAD REVIEWER, MA/NH/VT: TINA ROACH
 PHONE: (202) 354-2044

MASSACHUSETTS HISTORICAL COMMISSION
 220 MORRISSEY BOULEVARD
 BOSTON, MA 02125
 PHONE: (617) 727-8470
 FAX: (617) 727-5128
 WEB: sec.state.ma.us/mhc/
 EMAIL: mhc@sec.state.ma.us

LIST OF DRAWINGS:

A-001	TITLE SHEET	C+G AND BEK TYP, UNO
A-002	CONSTRUCTION SITE LAYOUT	
C-0	COVER SHEET	FORESIGHT LAND SERVICES
C-1	EXISTING CONDITIONS & DEMOLITION PLAN	FORESIGHT LAND SERVICES
L-1	APPROVED SITE PLAN	WCALA
A-010	BASEMENT PLAN - EXISTING CONDITIONS	
A-011	FIRST FLOOR PLAN - EXISTING CONDITIONS	
A-012	SECOND FLOOR PLAN - EXISTING CONDITIONS	
A-014	ROOF PLAN - EXISTING CONDITIONS	
A-020	EXTERIOR ELEVATIONS - EXISTING CONDITIONS	
A-021	EXTERIOR ELEVATIONS - EXISTING CONDITIONS	
A-030	BUILDING SECTIONS - EXISTING CONDITIONS	
A-031	BUILDING SECTIONS - EXISTING CONDITIONS	
A-100	BASEMENT PLAN - DEMOLITION	
A-101	FOUNDATION PLAN	
A-200	EXTERIOR ELEVATIONS	
A-201	EXTERIOR ELEVATIONS	
A-202	EXTERIOR ELEVATIONS	
A-300	BUILDING SECTIONS	
A-301	BUILDING SECTIONS	
S-00	STRUCTURAL GENERAL NOTES	STRUCTURES NORTH
S-101	FOUNDATION PLAN	STRUCTURES NORTH
S-102	FIRST FLOOR FRAMING PLAN	STRUCTURES NORTH
S-201	SECTIONS AND DETAILS	STRUCTURES NORTH
TS-101	SUGGESTED SHORING PLAN	STRUCTURES NORTH

HISTORICAL REVIEW:

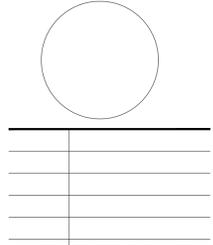
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PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

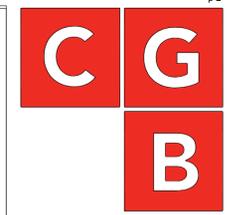
SHEET TITLE

TITLE SHEET

SHEET NUMBER

A-001.00

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 CONSULTANTS

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- TRUE NORTH
- PROJECT NORTH

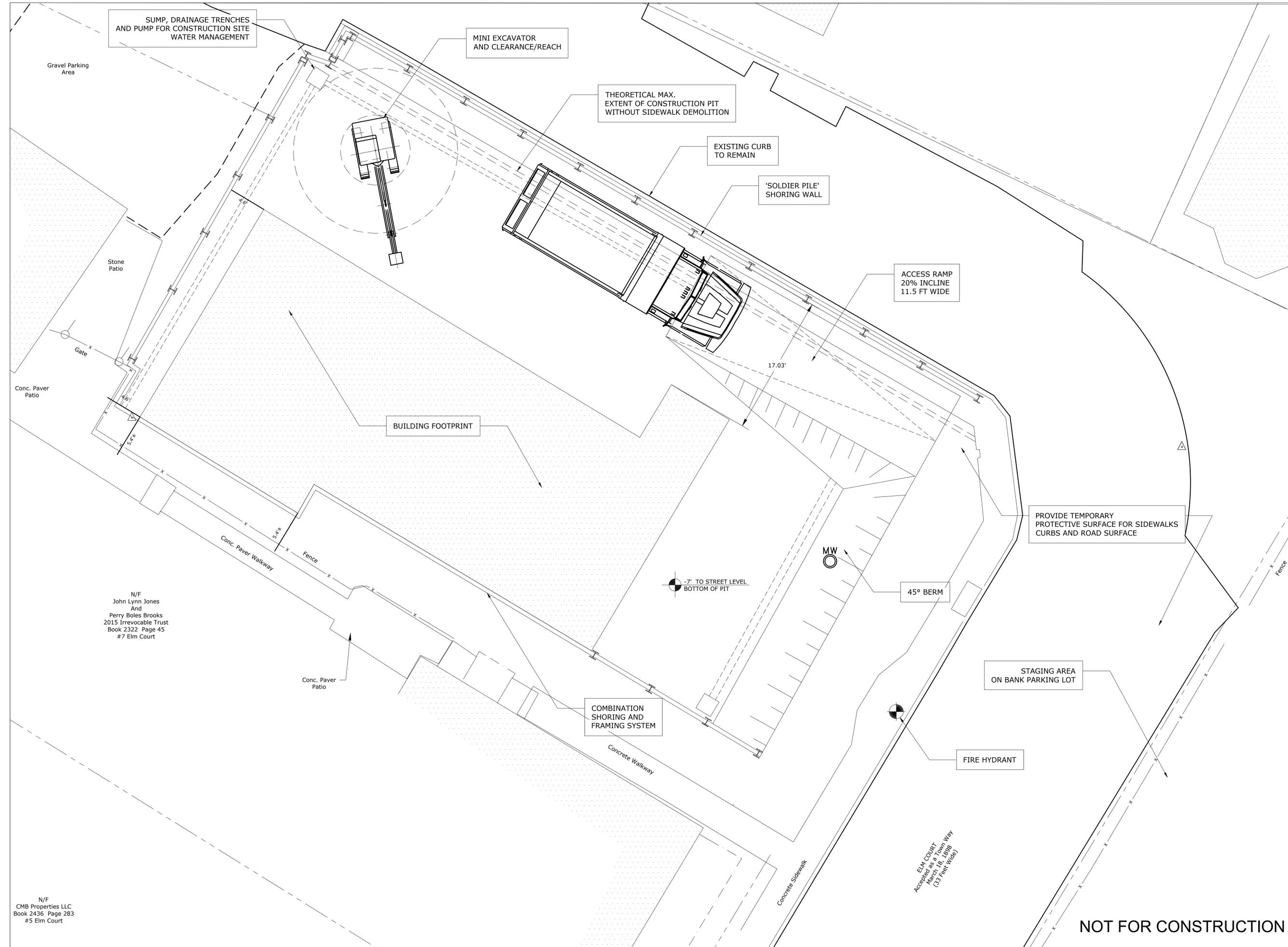


11/26/25 SUBMITTAL SET
 PROJECT TITLE

**DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE**
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE
 CONSTRUCTION
 SITE
 LAYOUT
 SHEET NUMBER

A-002.00



SUMP, DRAINAGE TRENCHES AND PUMP FOR CONSTRUCTION SITE WATER MANAGEMENT

MINI EXCAVATOR AND CLEARANCE/REACH

THEORETICAL MAX. EXTENT OF CONSTRUCTION PIT WITHOUT SIDEWALK DEMOLITION

EXISTING CURB TO REMAIN

'SOLDIER PILE' SHORING WALL

ACCESS RAMP 20% INCLINE 11.5 FT WIDE

BUILDING FOOTPRINT

PROVIDE TEMPORARY PROTECTIVE SURFACE FOR SIDEWALKS CURBS AND ROAD SURFACE

45° BERM

COMBINATION SHORING AND FRAMING SYSTEM

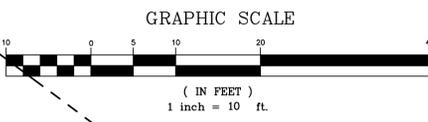
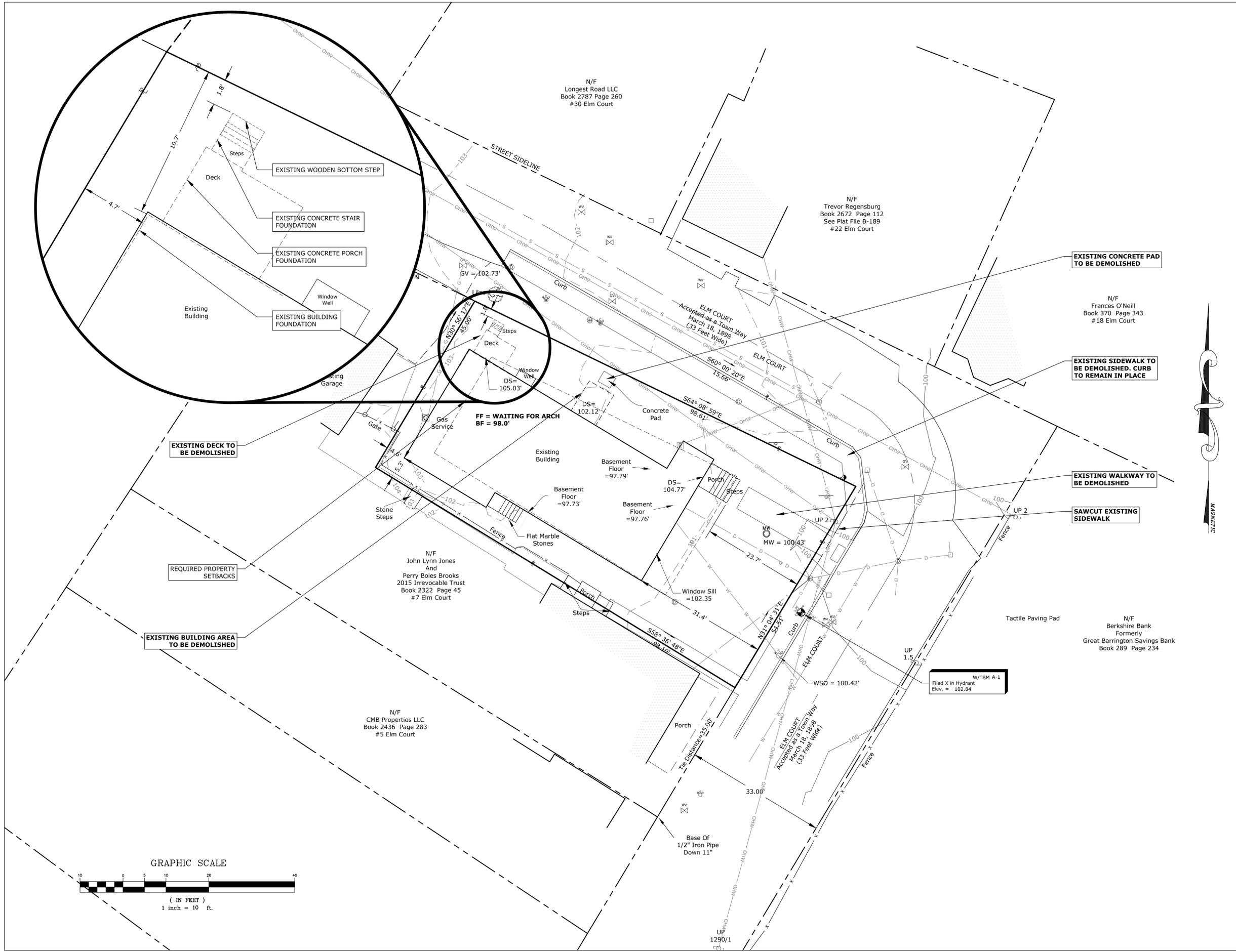
FIRE HYDRANT

STAGING AREA ON BANK PARKING LOT

N/F John Lynn Jones And Perry Boles Brooks 2015 Irrevocable Trust Book 2322 Page 45 #7 Elm Court

N/F CMB Properties LLC Book 2436 Page 283 #5 Elm Court

NOT FOR CONSTRUCTION



PRELIMINARY			
NO.	DATE	REVISION/ISSUE	BY
SHEET TITLE EXISTING CONDITIONS & DEMOLITION PLAN			
PROJECT TITLE The W.E.B. Du Bois Center for Freedom and Democracy (fka Clinton Church Restoration) ELM COURT, GREAT BARRINGTON, MA.			
PROJECT NO. E3085		SCALE AS NOTED	
DATE 5/1/2023		DESIGNED BY SAM	
DRAWN BY SCT		CHECKED BY SCT	
SHEET NO. C-1		OF SHEETS 4	
FORESIGHT LAND SERVICES, INC. 1496 WEST HOUSATONIC STREET - PITTSFIELD, MA 01201 TEL: (413) 499-1260 FAX: (413) 499-3307 WWW.FORESIGHTLAND.COM			



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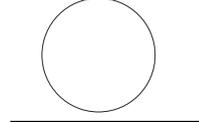
CONSULTANTS

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- PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

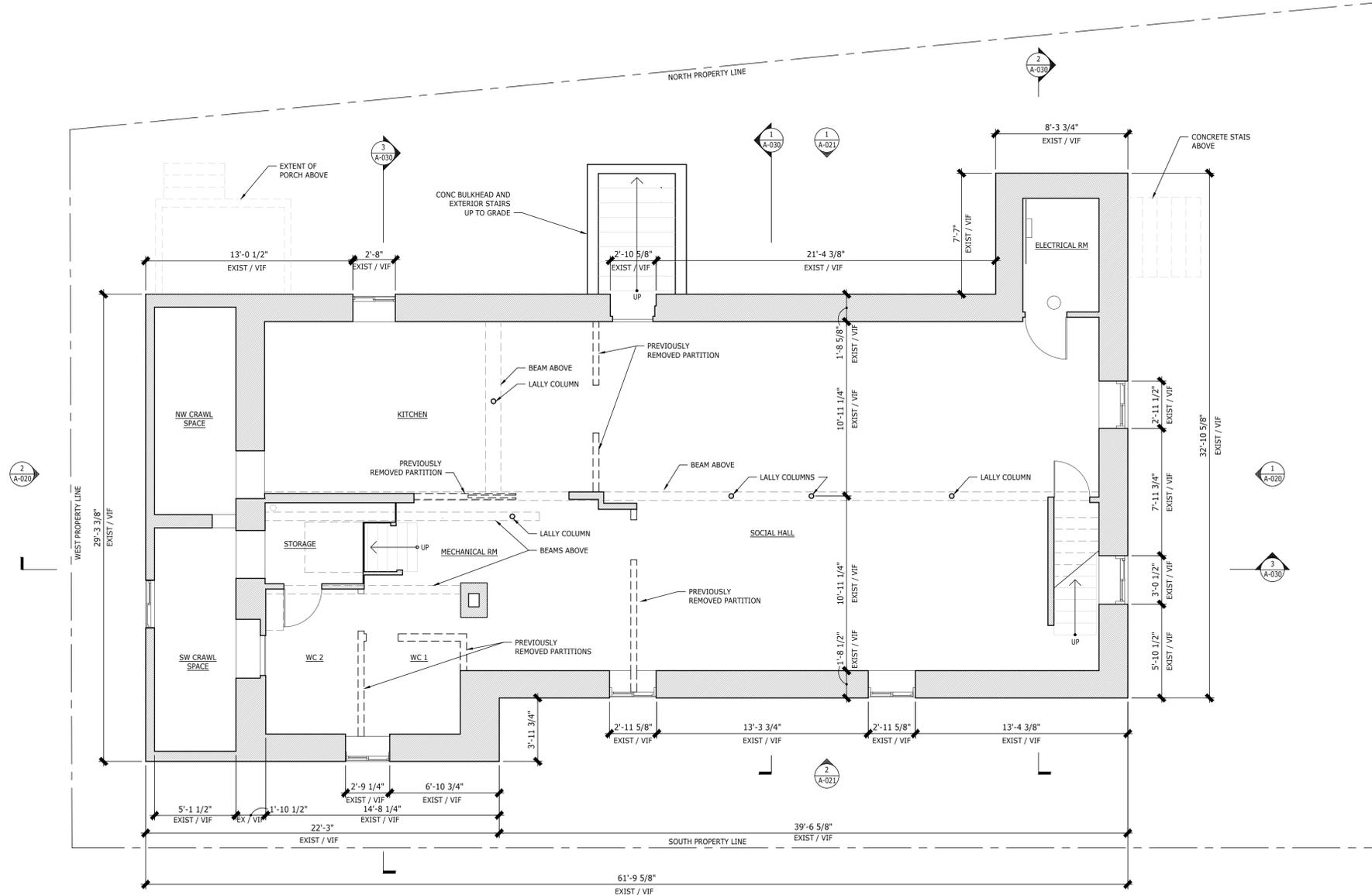
DU BOIS FREEDOM CENTER
PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE

BASEMENT PLAN - EXISTING CONDITIONS

SHEET NUMBER

A-010.00



01 BASEMENT PLAN - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



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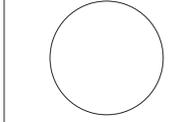
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- TRUE NORTH
- PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

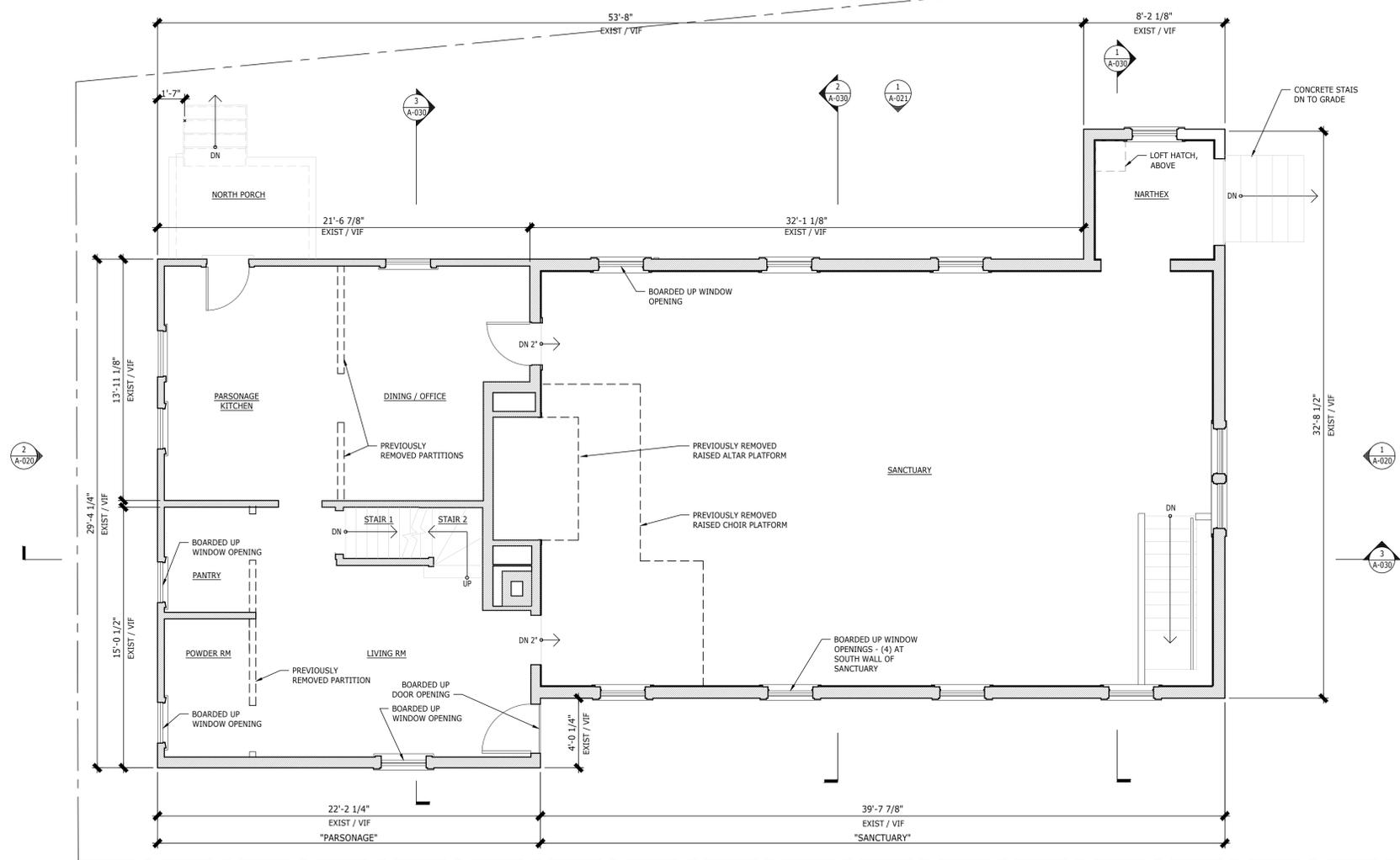
PROJECT TITLE

DU BOIS FREEDOM CENTER
PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE
 FIRST FLOOR PLAN -
 EXISTING
 CONDITIONS

SHEET NUMBER

A-011.00



01 FIRST FLOOR PLAN - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



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CONSULTANTS

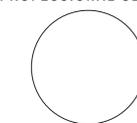
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- TRUE NORTH
- PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

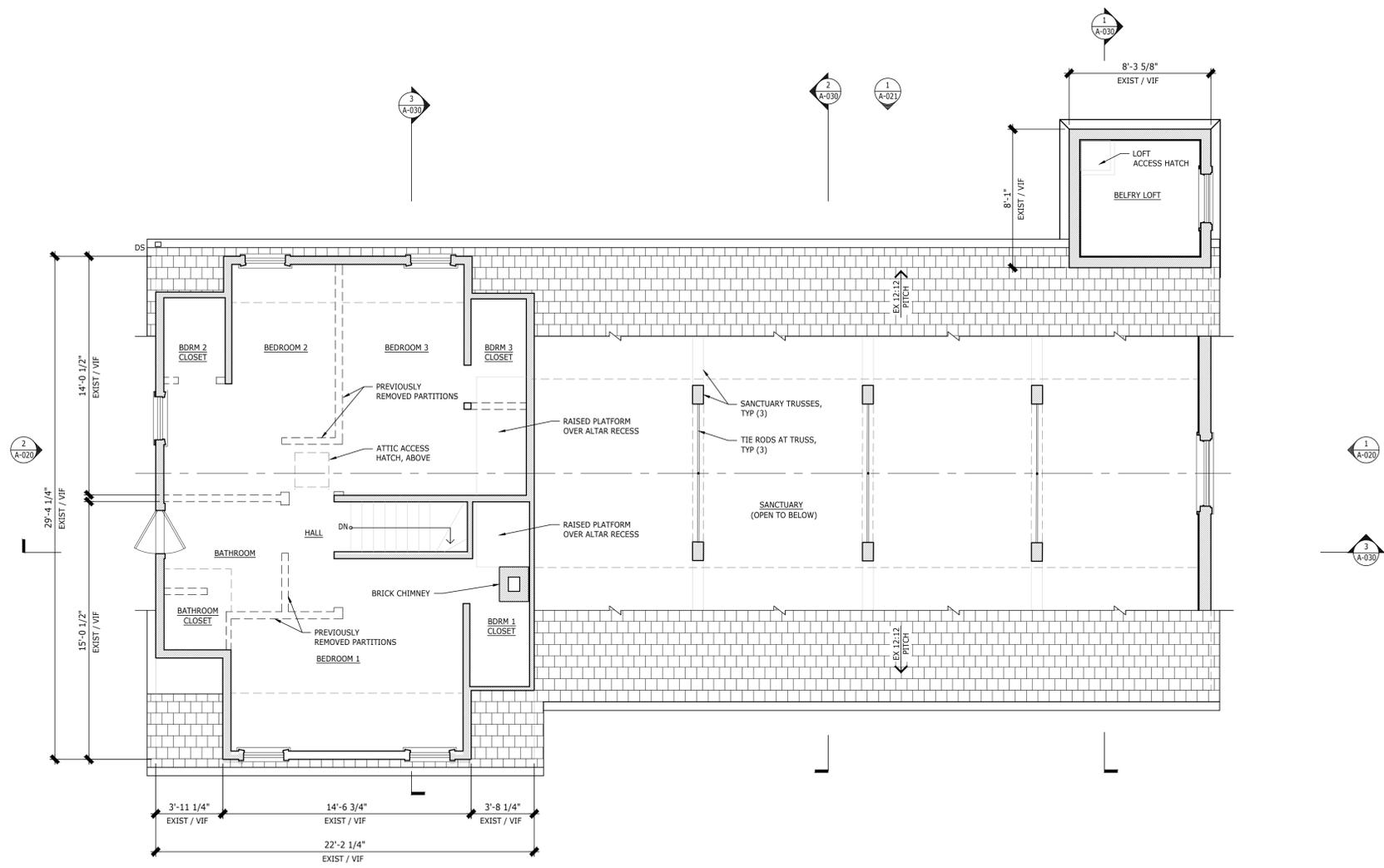
DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE

SECOND FLOOR PLAN -
EXISTING
CONDITIONS

SHEET NUMBER

A-012.00



01 SECOND FLOOR PLAN - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



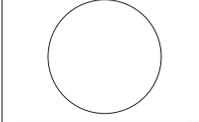
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- TRUE NORTH
- PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

**DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA**

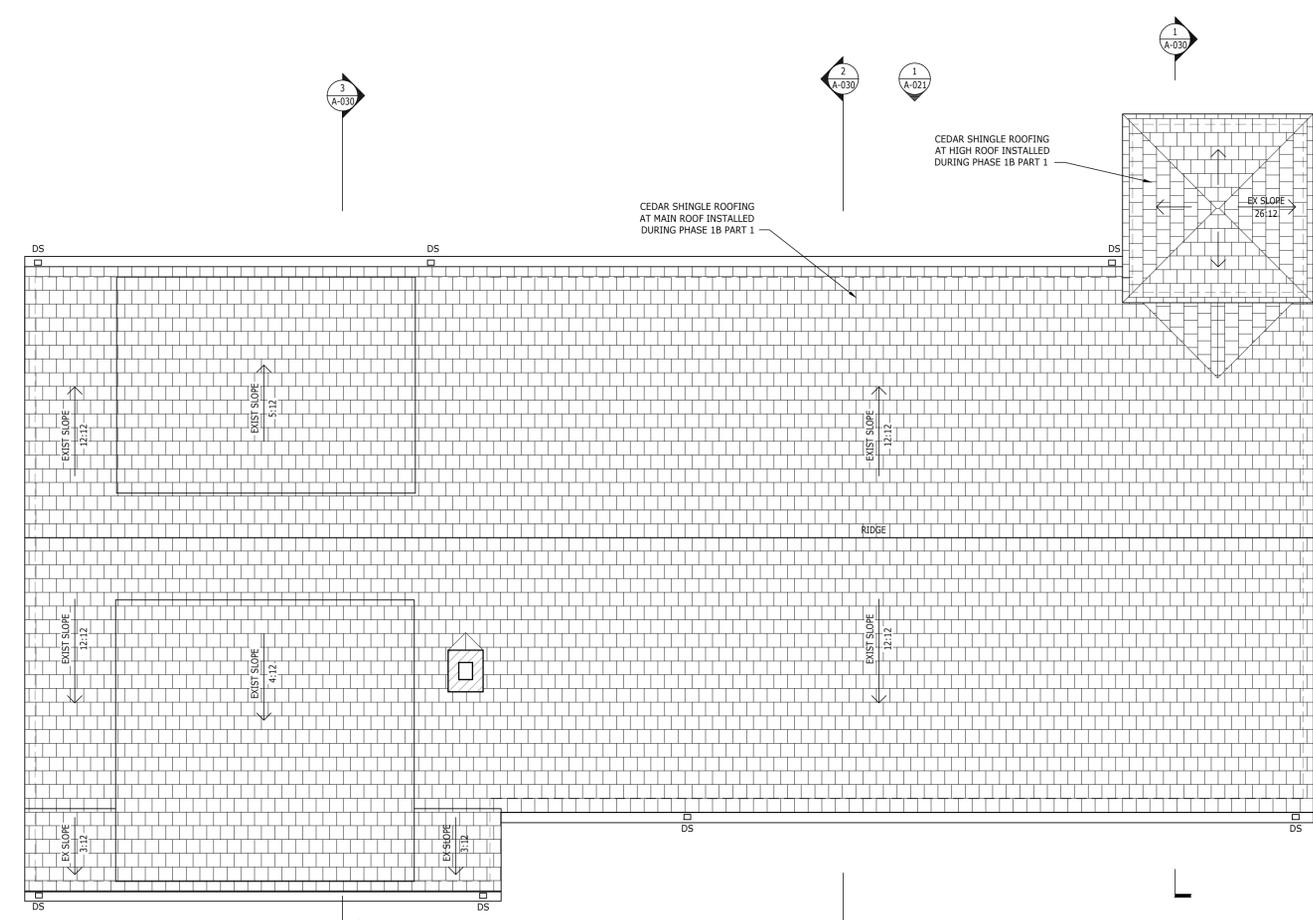
SHEET TITLE

ROOF PLAN - EXISTING CONDITIONS

SHEET NUMBER

A-014.00

1. EXISTING DRAWINGS ARE FOR REFERENCE PROPOSES ONLY.
2. CONTRACTOR IS RESPONSIBLE TO VERIFY CRITICAL FIELD CONDITIONS
3. CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH RELEVANT WORK.



01 ROOF PLAN - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



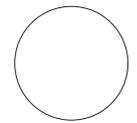
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 **TRUE NORTH**
 **PROJECT NORTH**

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

**DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
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 9 ELM COURT
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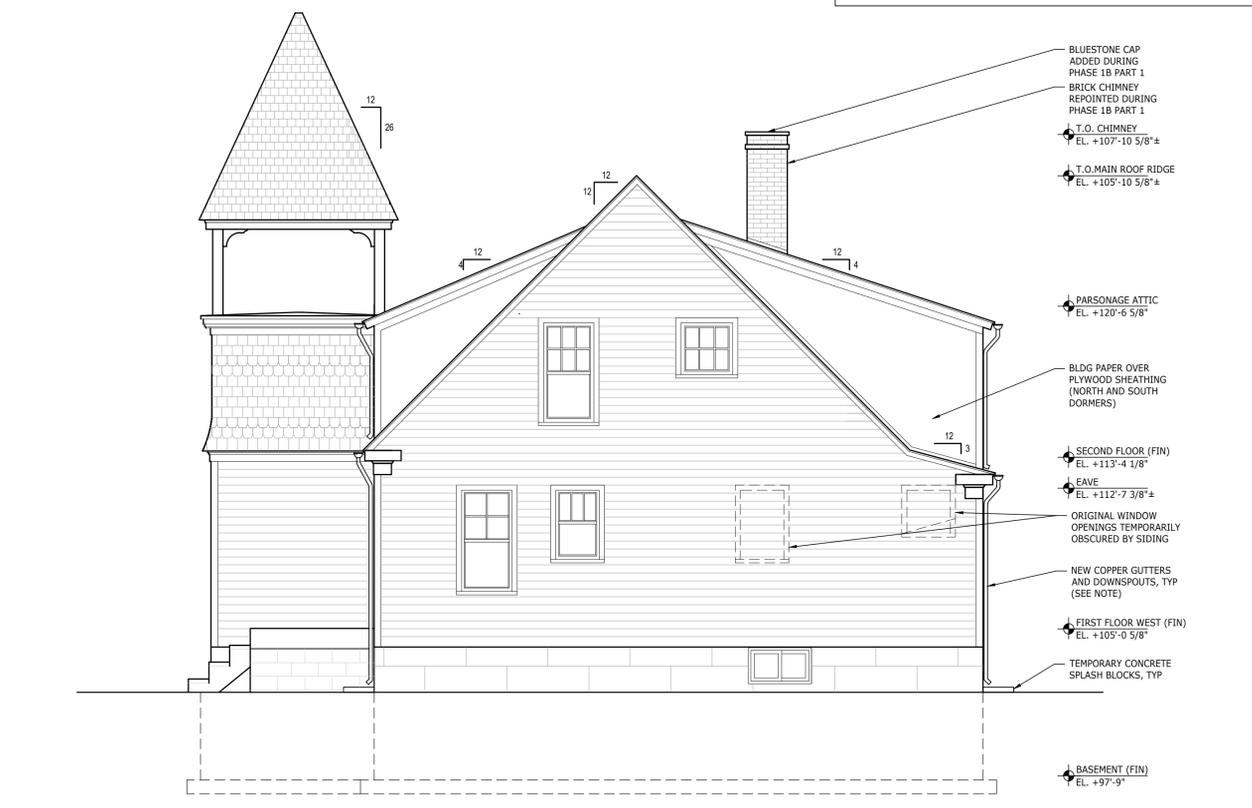
SHEET TITLE
 EXTERIOR
 ELEVATIONS -
 EXIST. CONDITIONS

SHEET NUMBER
 A-020.00



01 EAST ELEVATION - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

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02 WEST ELEVATION - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



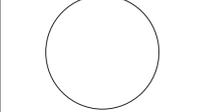
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TRUE NORTH
 PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

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PHASE 1B - BASEMENT
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 9 ELM COURT
 GREAT BARRINGTON, MA

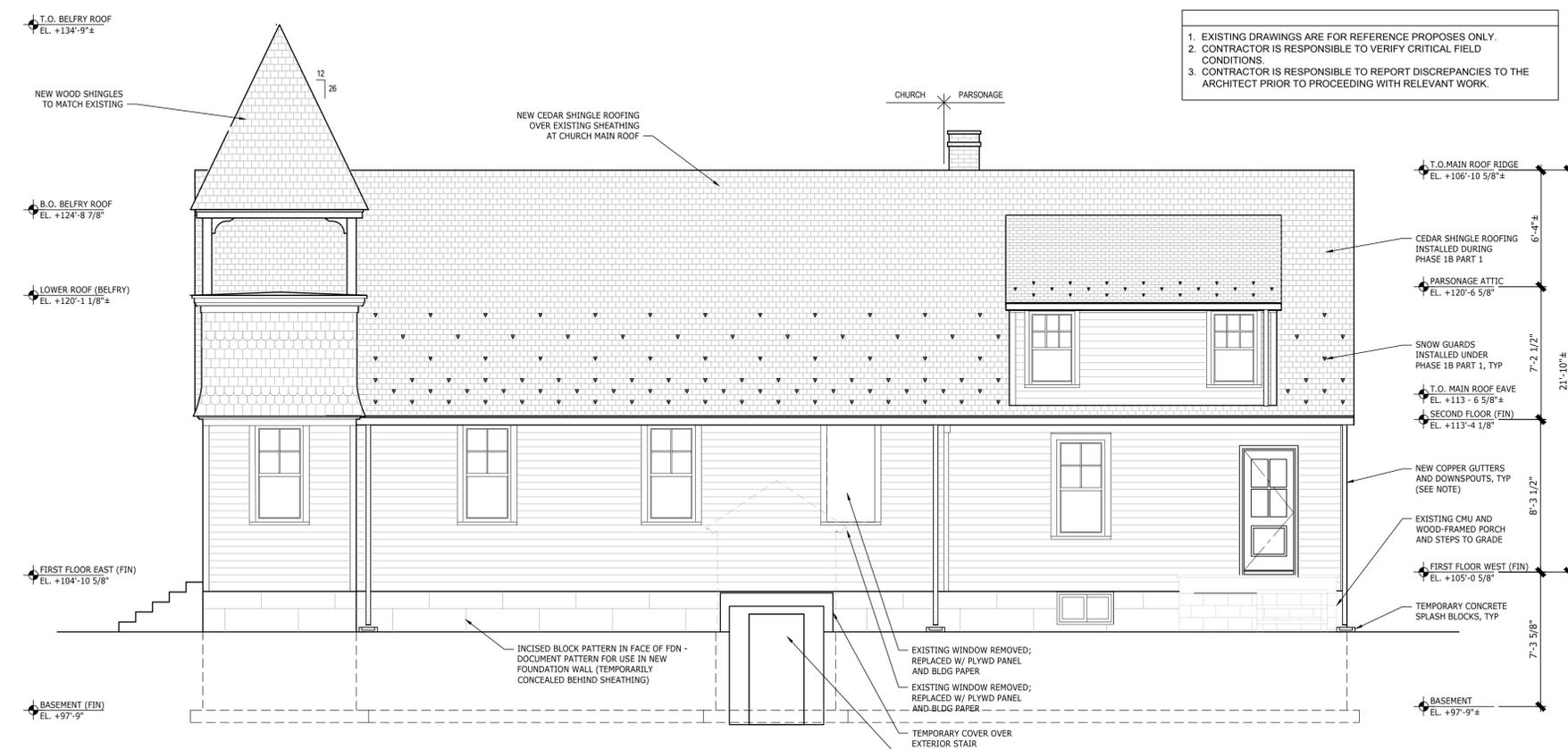
SHEET TITLE

EXTERIOR ELEVATIONS - EXIST. CONDITIONS

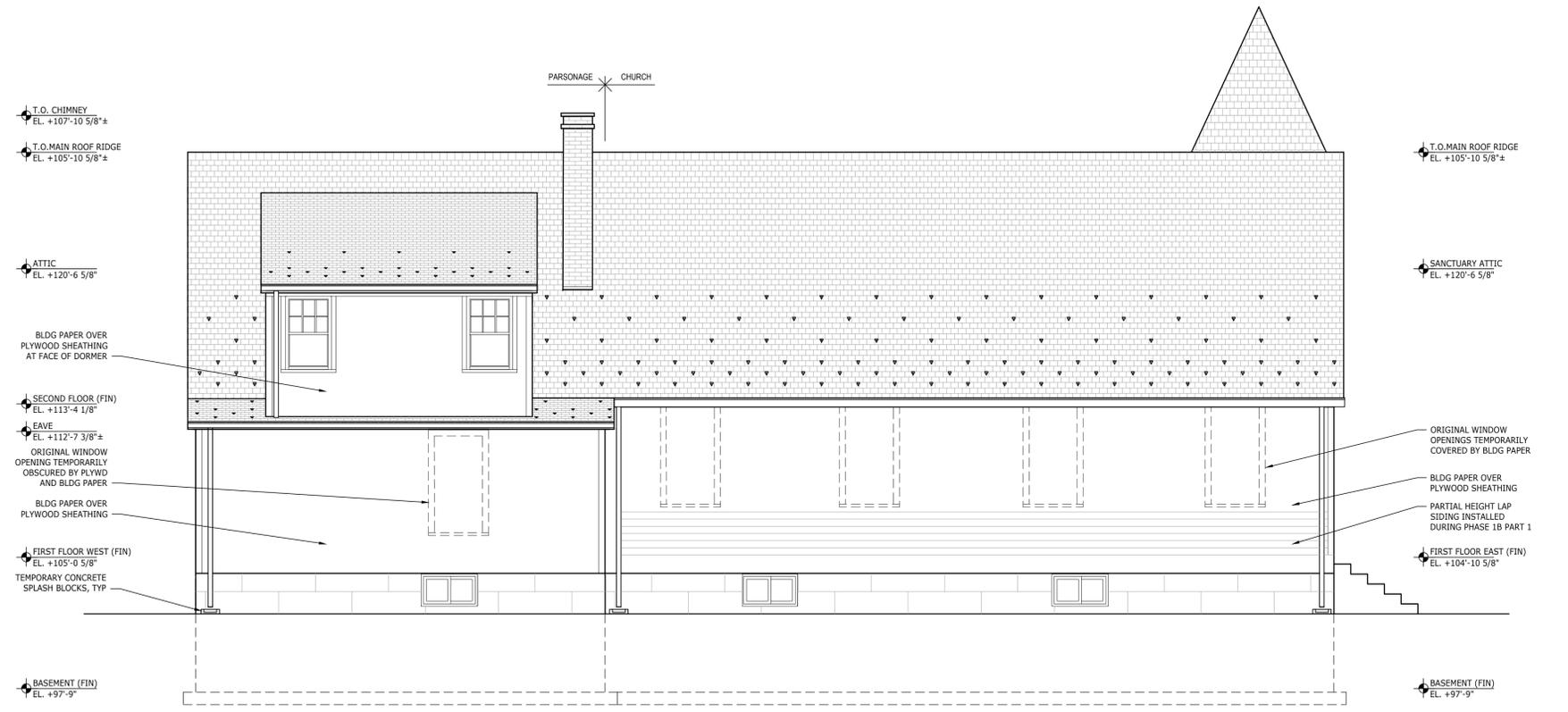
SHEET NUMBER

A-021.00

- EXISTING DRAWINGS ARE FOR REFERENCE PROPOSES ONLY.
- CONTRACTOR IS RESPONSIBLE TO VERIFY CRITICAL FIELD CONDITIONS.
- CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH RELEVANT WORK.



01 NORTH ELEVATION - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



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CONSULTANTS

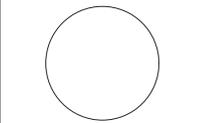
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3. CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH RELEVANT WORK.

GENERAL NOTES

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- TRUE NORTH
- PROJECT NORTH

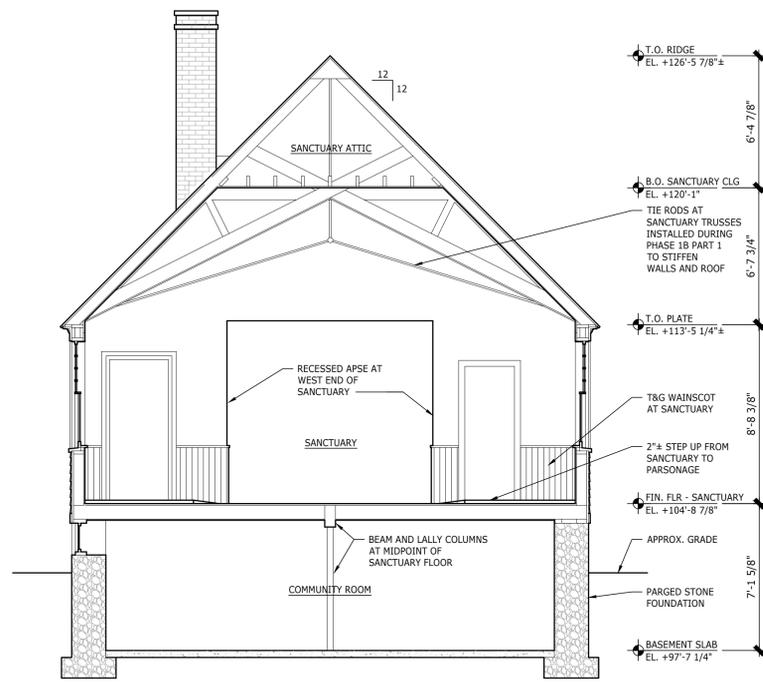
PROFESSIONAL SEAL



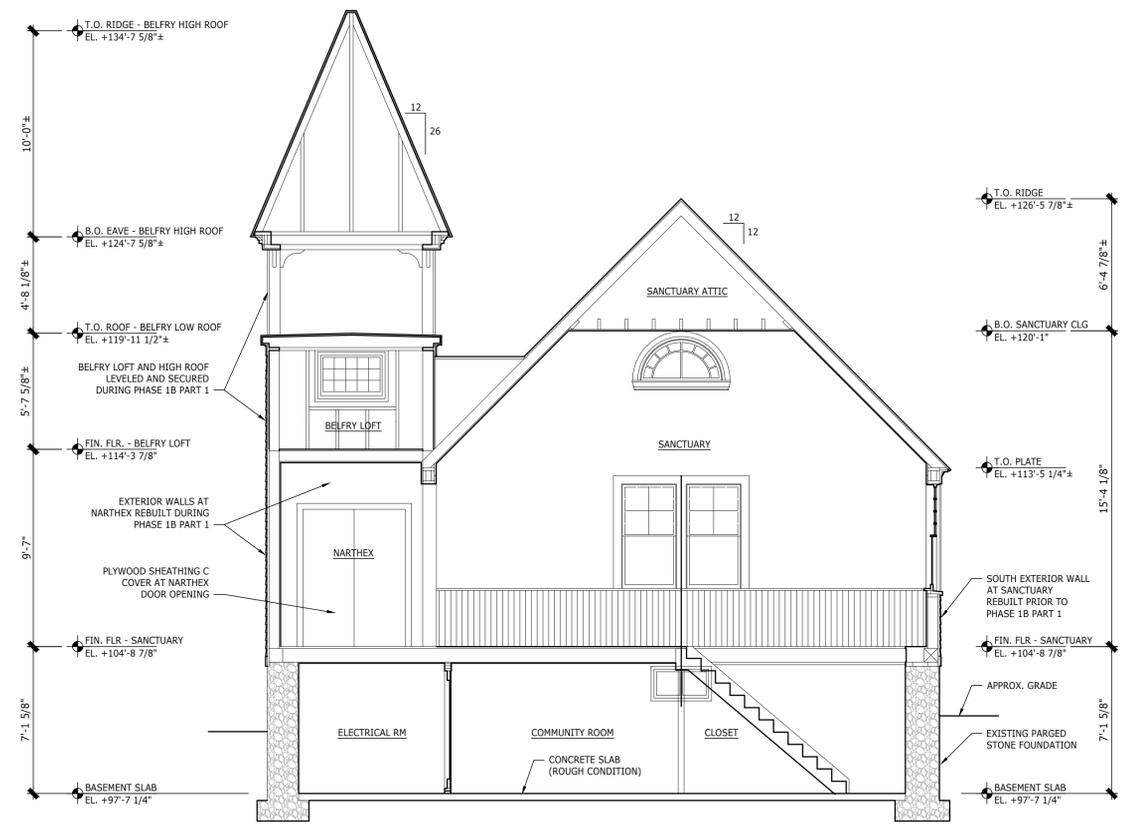
11/26/25 SCOPE SUBMITTAL
 PROJECT TITLE

DU BOIS FREEDOM CENTER
PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE
 BUILDING SECTIONS - EXIST. CONDITIONS
 SHEET NUMBER



02 BUILDING SECTION AT SANCTUARY LOOKING WEST - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"



01 BUILDING SECTION AT SANCTUARY LOOKING EAST - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

A-030.00



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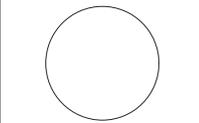
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CONSULTANTS

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- ⊗ TRUE NORTH
- ⊕ PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

**DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA**

SHEET TITLE
 BUILDING SECTIONS - EXIST. CONDITIONS
 SHEET NUMBER

1. EXISTING DRAWINGS ARE FOR REFERENCE PROPOSES ONLY.
2. CONTRACTOR IS RESPONSIBLE TO VERIFY CRITICAL FIELD CONDITIONS.
3. CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH RELEVANT WORK.



02 BUILDING SECTION LOOKING EAST - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"



01 BUILDING SECTION LOOKING NORTH - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

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A-031.00



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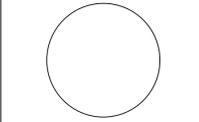
CONSULTANTS

- GENERAL NOTES:**
1. AS STATED ON THE DEMOLITION PLAN, CONTRACTOR SHALL NOT PROCEED WITH THE LAYOUT OF FOOTINGS AND VERTICAL FOUNDATION FORMS UNTIL THE ARCHITECT HAS PROVIDED A REVISED FOUNDATION PLAN INCORPORATING THE CONTRACTOR'S MEASUREMENTS OF THE EXISTING WOOD SUPERSTRUCTURE.
 2. THIS PHASE INCLUDES SITE CLEARING AND EXCAVATION AS REQUIRED TO COMMENCE THE WORK.
 3. THIS PHASE INCLUDES THE CONSTRUCTION OF FOOTINGS AND PERIMETER CONCRETE FOUNDATION WALLS, AS WELL AS THE CONSTRUCTION OF INTERIOR TEMPORARY FOOTINGS, BEARING WALLS, AND COLUMNS REQUIRED TO SUPPORT THE WOOD SUPERSTRUCTURE WHEN IT IS LOWERED INTO PLACE ON THE NEW FOUNDATION WALLS.
 4. THIS PHASE INCLUDES THE CONSTRUCTION OF AN UNDER-SLAB DRAINAGE SYSTEM AND PERIMETER FOOTING DRAINS, TIED EXISTING CITY DRAINAGE SYSTEMS IN ACCORDANCE WITH THE CIVIL DRAWINGS.
 5. THIS PHASE DOES NOT INCLUDE THE PLACEMENT OF BELOW-GRADE UTILITIES, OR THE CONSTRUCTION OF A CONCRETE SLAB WITHIN THE BUILDING PERIMETER, (OTHER THAN THE REQUIRED TEMPORARY ELECTRICAL PANEL AND SERVICE AS NOTED ON THE FOUNDATION PLAN).
 6. REFER TO THE CIVIL DRAWINGS FOR UNDERSLAB AND EXTERIOR DRAINAGE SYSTEMS.

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⊗ TRUE NORTH
 ⊕ PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

**DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA**

SHEET TITLE

FOUNDATION PLAN

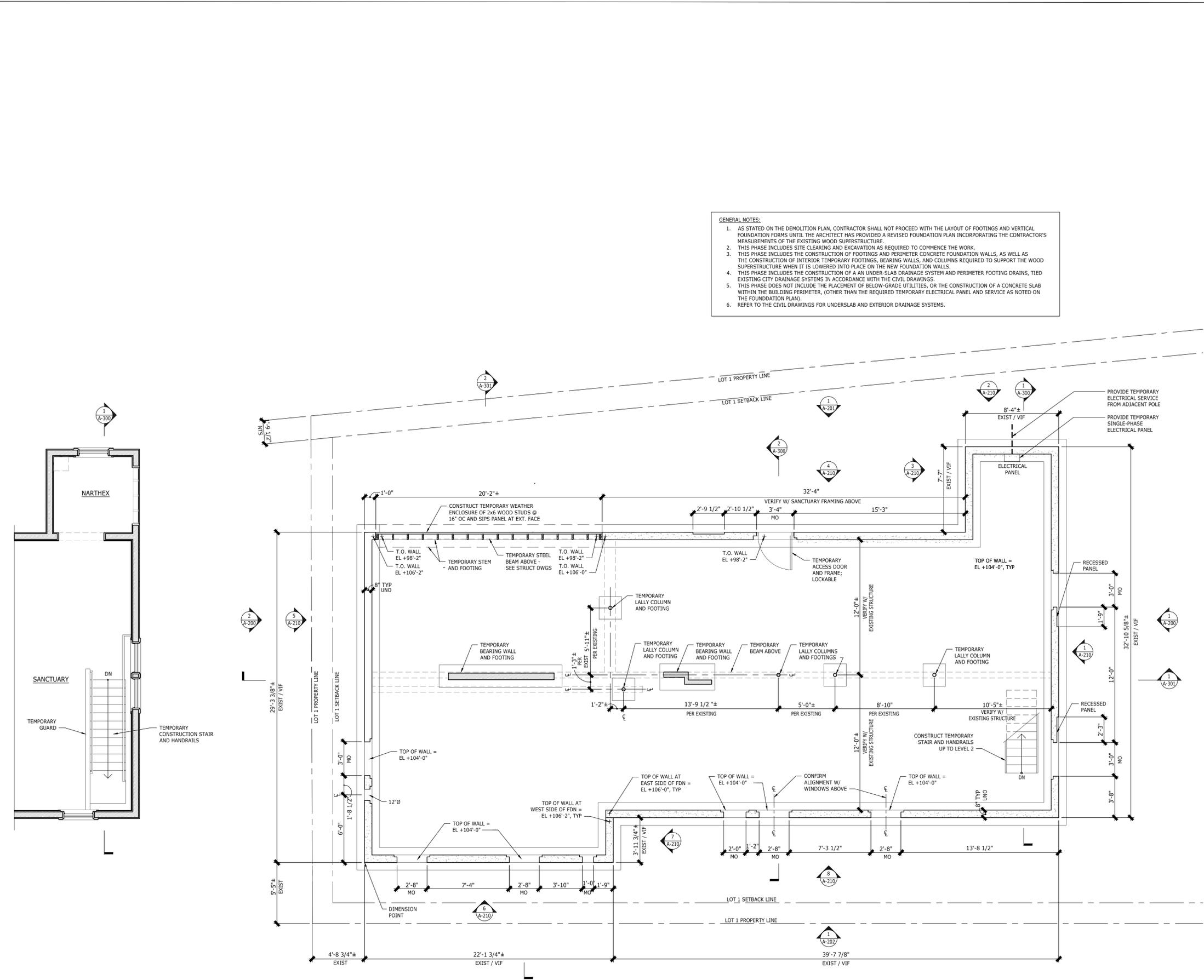
SHEET NUMBER

A-101.00

02 PARTIAL PLAN AT SANCTUARY
 SCALE: 1/4" = 1'-0"

01 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

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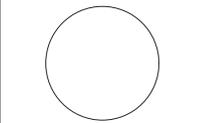
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CONSULTANTS

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- PROJECT NORTH

PROFESSIONAL SEAL



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PROJECT TITLE

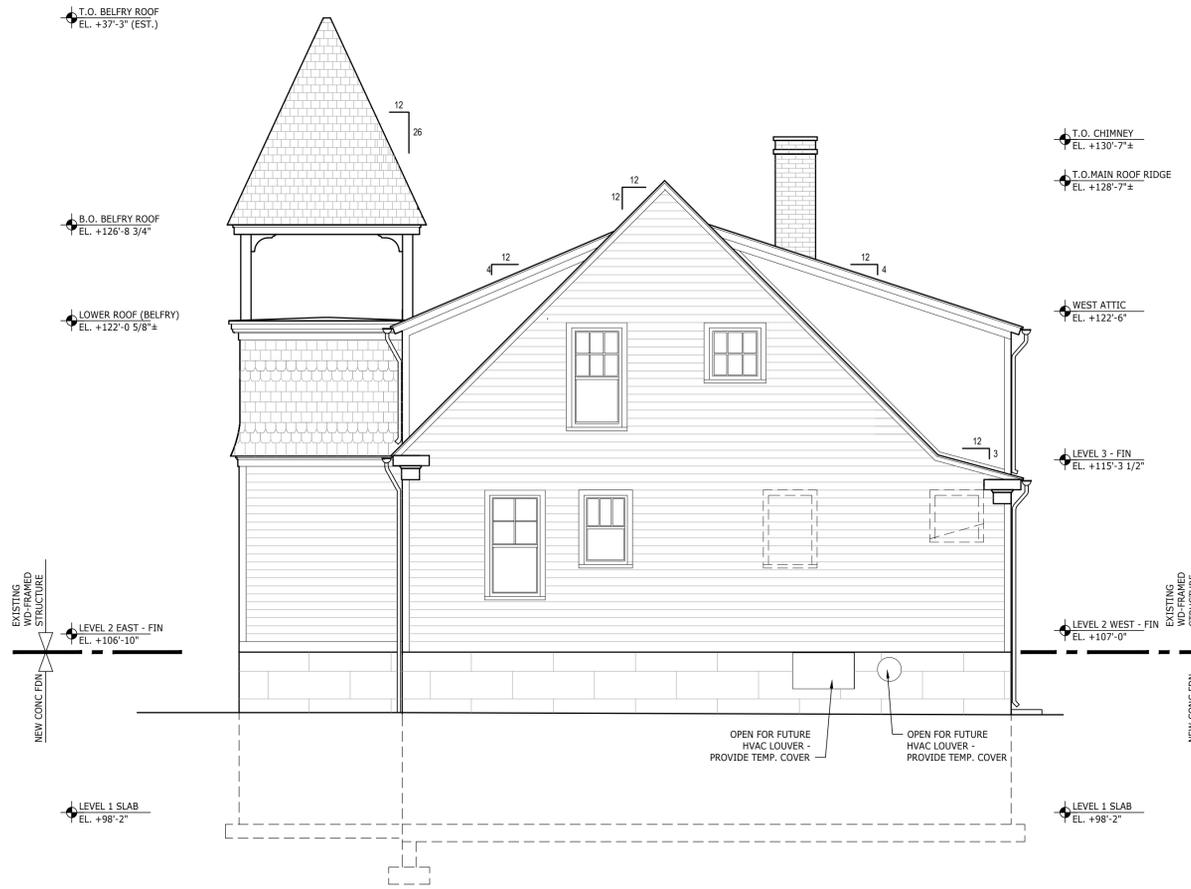
DU BOIS FREEDOM CENTER
PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE

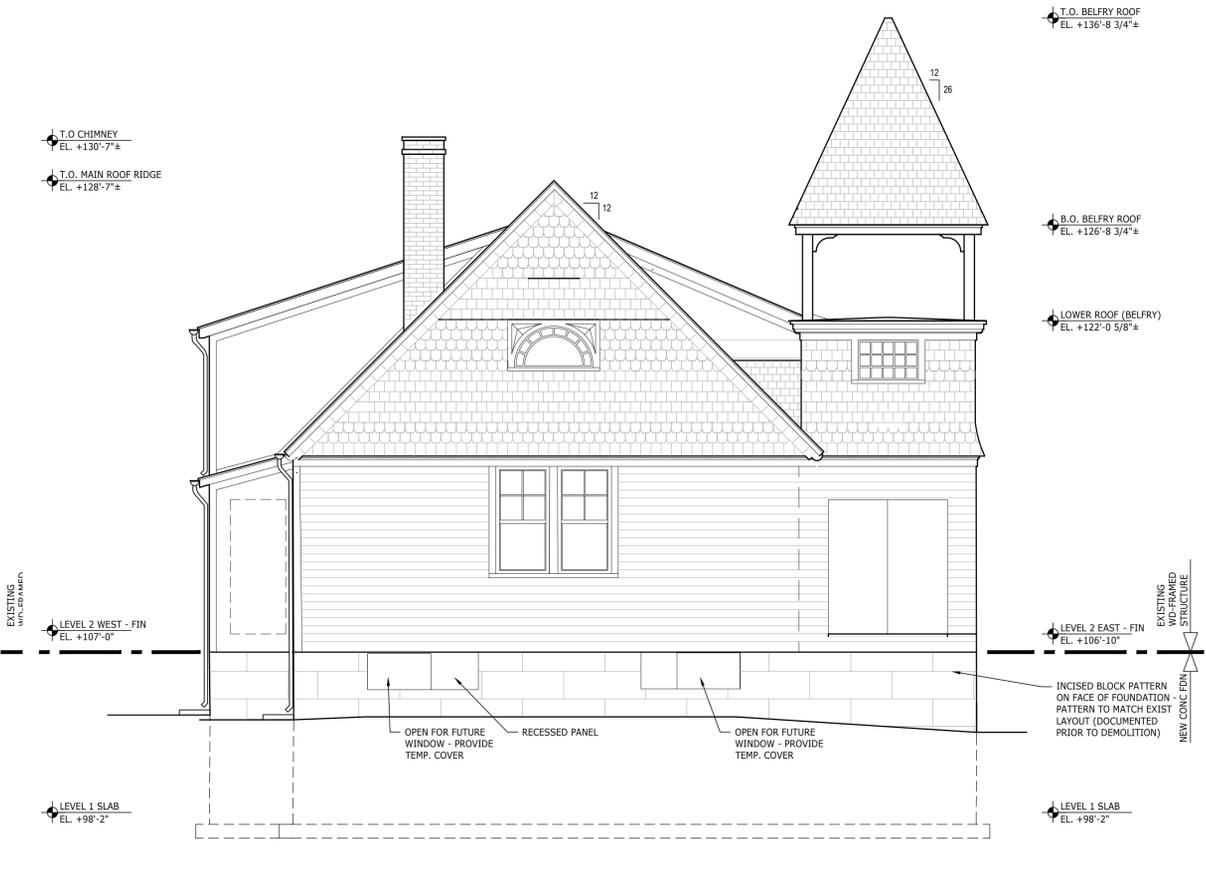
EXTERIOR ELEVATIONS

SHEET NUMBER

A-200.00



02 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



01 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

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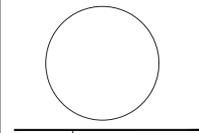
CONSULTANTS

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- ⊕ PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

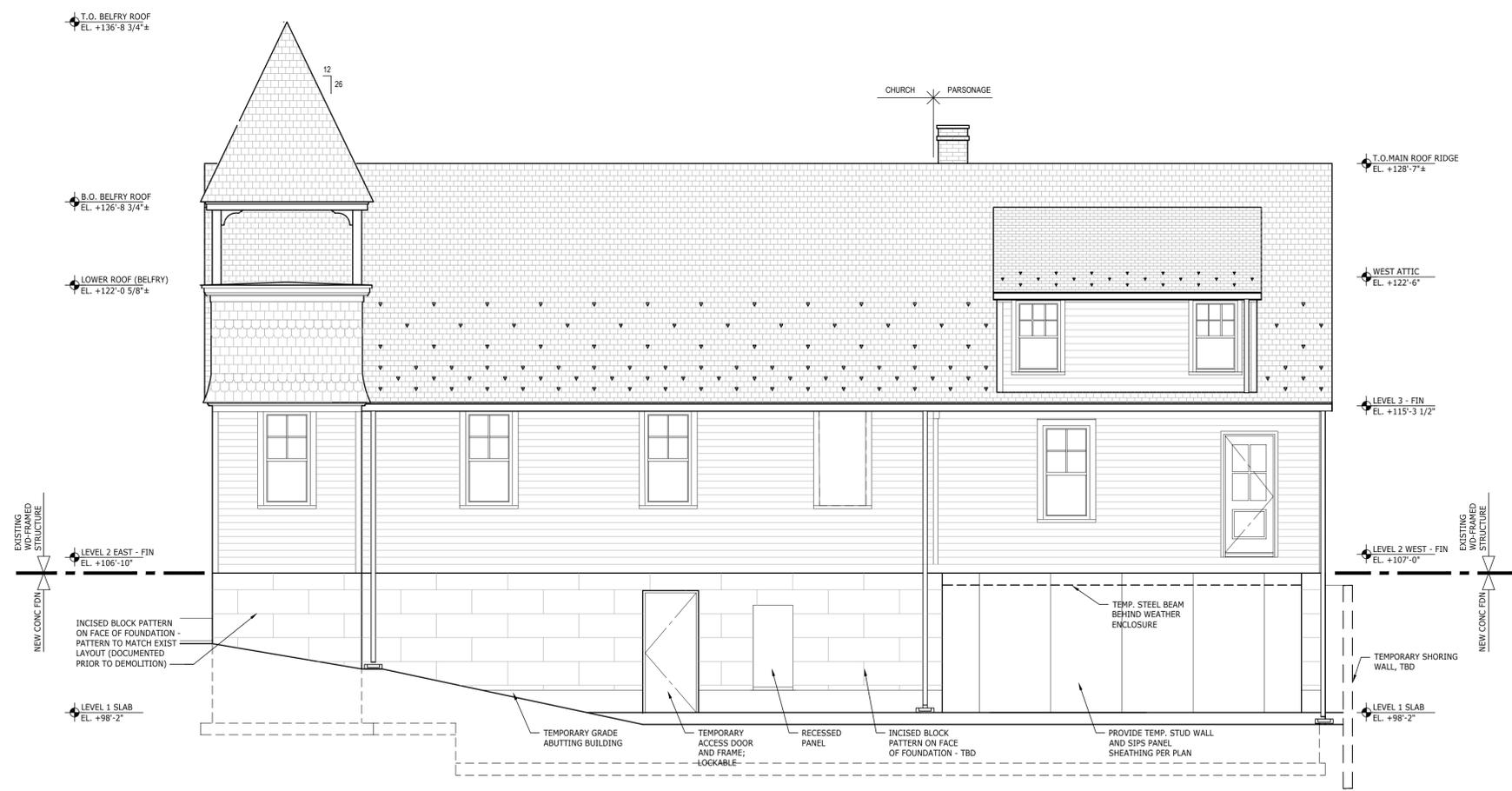
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PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A-201.00



01 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

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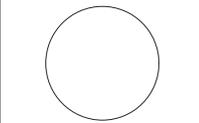
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PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

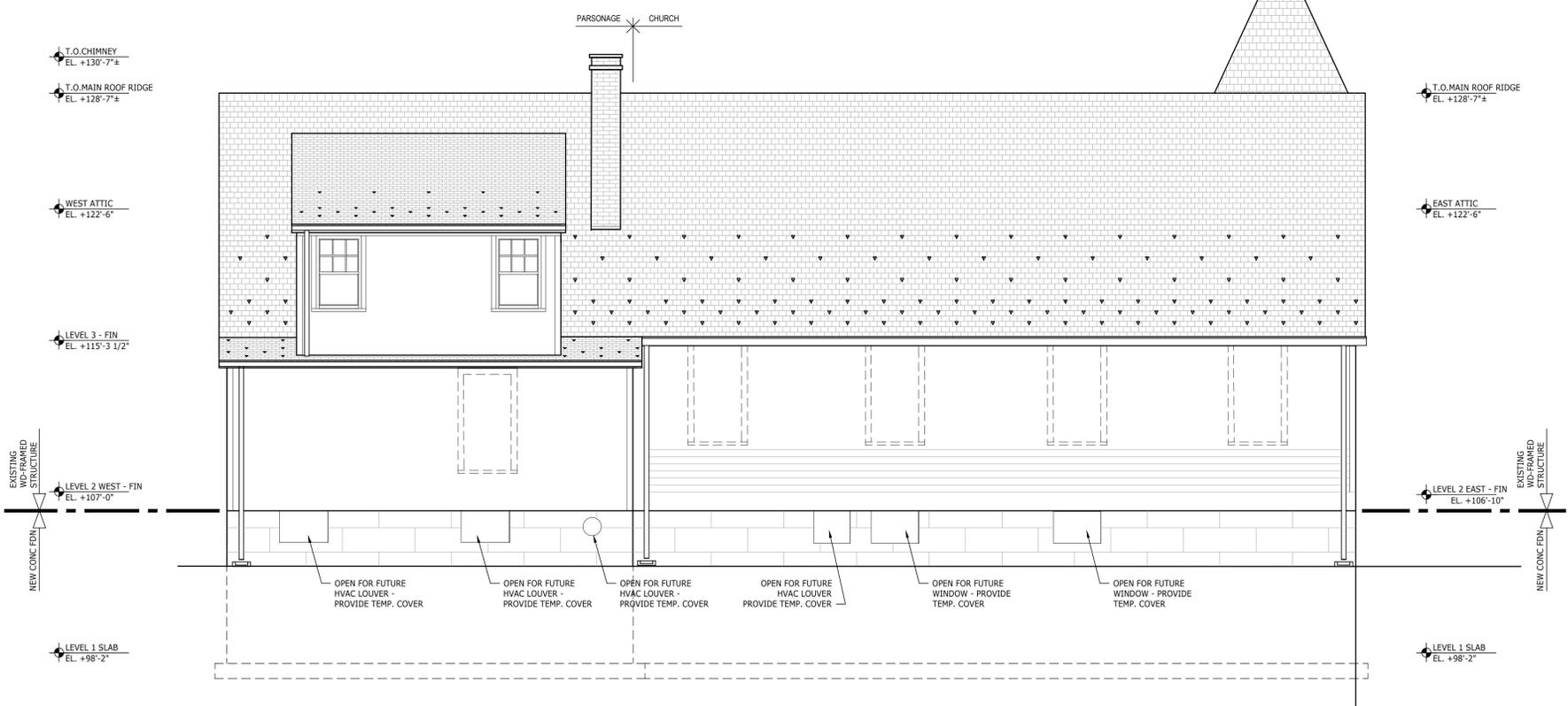
DU BOIS FREEDOM CENTER
PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A-202.00



01 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



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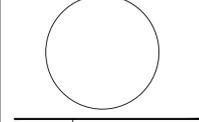
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CONSULTANTS

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 ⊕ PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

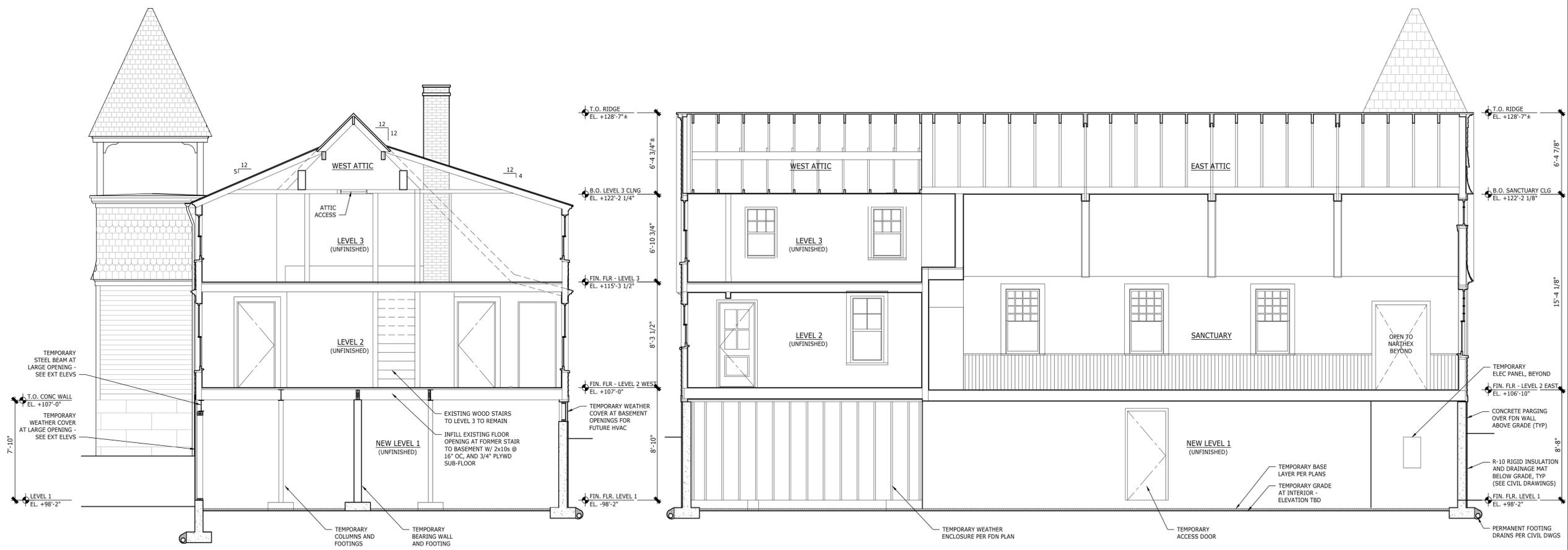
DU BOIS FREEDOM CENTER
PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

A-301.00



02 BUILDING SECTION LOOKING EAST
 SCALE: 1/4" = 1'-0"

01 BUILDING SECTION LOOKING NORTH
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



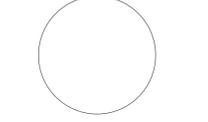
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PROFESSIONAL SEAL



11/26/25	SCOPE SUBMITTAL
DATE	REMARKS

PROJECT TITLE

THE W.E.B. DU BOIS CENTER
PHASE 1 B BASEMENT CONSTRUCTION
SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA 02130

SHEET TITLE

STRUCTURAL
GENERAL NOTES

SHEET NUMBER

S-100

NOT FOR CONSTRUCTION

IF ACTUAL CONDITIONS ENCOUNTERED IN THE FIELD VARY FROM THOSE ASSUMED, NOTIFY ARCHITECT IMMEDIATELY & ALLOW FOR RE-ISSUE OF DETAIL IN AFFECTED AREA.

- M11. FINAL MORTAR WASHDOWN CLEANER
- FOR NON-PIGMENTED MORTARS, USE EQUAL OR EQUIVALENT TO "SURE KLEAN 600 DETERGENT" AS MANUFACTURED BY PROSOCC CORP.
 - FOR PIGMENTED MORTARS USE EQUAL OR EQUIVALENT TO "VANA TROL" AS MANUFACTURED BY PROSOCC CORP.

M11. ALL DISMANTLED WORK SHALL BE FULLY DOCUMENTED AND THE ORIGINAL GEOMETRY OF THE STRUCTURE (BEFORE BULGING AND SAGGING) BE ESTABLISHED. RECONSTRUCTION SHALL BE DONE TO REPLICATE ORIGINAL GEOMETRY.

CONCRETE AND REINFORCEMENT

C1. CONCRETE WORK IS TO CONFORM TO BUILDING CODE REQUIREMENTS FOR REINFORCED AND PLAIN CONCRETE (ACI 318-19) AND SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301-14).

C2. CONCRETE SHALL BE CONTROLLED CONCRETE, PROPORTIONED, AND MIXED UNDER THE SUPERVISION OF AN APPROVED CONCRETE TESTING AGENCY RETAINED BY THE OWNER.

C3. WHEN CONCRETE IS PLACED AT OR BELOW AMBIENT TEMPERATURES OF 40 DEGREES F, OR WHENEVER LOWER TEMPERATURES ARE LIKELY TO OCCUR WITHIN 48 HOURS AFTER PLACEMENT OF CONCRETE, COLD WEATHER CONCRETING PROCEDURES, IN ACCORDANCE TO ACI 306R SHALL BE FOLLOWED. COLD WEATHER PROTECTION SHALL ALSO APPLY TO MASONRY CONSTRUCTION WHENEVER THE TEMPERATURE FALLS BELOW 40 DEGREES.

C4. CONFORM TO ACI 305R WHEN CONCRETING DURING HOT WEATHER.

C5. CONCRETE IS TO HAVE 4,000 PSI (NORMALWEIGHT) COMPRESSIVE STRENGTH AT 28 DAYS.

C6. CONCRETE IS TO BE PLACED WITHOUT HORIZONTAL CONSTRUCTION JOINTS.

C7. DETAILING, FABRICATION, AND ERECTION OF REINFORCEMENT, UNLESS OTHERWISE NOTED, SHALL CONFORM TO ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-19)" AND ACI "DETAILING MANUAL-2004 (SP-066(04))".

C8. STEEL REINFORCEMENT SHALL CONFORM TO ASTM 615 GRADE 60 (YIELD STRESS = 60,000 PSI).

C9. REINFORCEMENT IS TO BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

C10. CONCRETE SHALL BE MAINTAINED IN A MOIST STATE AND AT A TEMPERATURE OF AT LEAST 40°F FOR A PERIOD OF NOT LESS THAN 4 DAYS FOLLOWING PLACEMENT.

C11. SLUMP OF CONCRETE SHALL BE 4-6" AND WATER-CEMENT RATIO SHALL BE A MAXIMUM OF 0.40.

C12. PROVIDE ALL NECESSARY ACCESSORIES TO HOLD REINFORCEMENT SECURELY IN POSITION IN THE LOCATIONS SHOWN ON THE SECTIONS.

C13. PROVIDE MIX DESIGN FOR EACH TYPE OF CONCRETE TO BE USED ON THE PROJECT. EACH MIX DESIGN SHALL BE APPROVED PRIOR TO ORDERING CONCRETE.

ABBREVIATIONS

ABBREVIATION	WORD
ADDL	ADDITIONAL
ALT	ALTERNATE
ACI	AMERICAN CONCRETE INSTITUTE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ASI	AMERICAN IRON AND STEEL INSTITUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWS	AMERICAN WELDING SOCIETY
MAS	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
MID	MIDDLE
MIN	MINIMUM
MISC	MISCELLANEOUS
NS	NON-SHRINK
NTS	NOT TO SCALE
NO	NUMBER
OC	ON CENTER
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
REF	REFERENCE
REINF	REINFORCE or REINFORCEMENT
REQD	REQUIRED
SCHED	SCHEDULE
SECT	SECTION
SIM	SIMILAR
SPECS	SPECIFICATIONS
STD	STANDARD
STL	STEEL
STR	STRUCTURAL
TEMP	TEMPERATURE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
V or VERT	VERTICAL
VIF	VERIFY IN FIELD
WWF	WELDED WIRE FABRIC
W/	WITH
XFER	TRANSFER
LG	LONG
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LP	LOW POINT
BM	BEAM
BRG	BEARING
BETW	BETWEEN
CIP	CAST-IN-PLACE
CTRD	CENTERED
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
COORD	COORDINATE
DET	DETAIL
#	DIAMETER
DWG	DRAWING
EA	EACH
ELEV	ELEVATION
EQ	EQUAL
EXT	EXTERIOR
FT	FEET or FOOT
FL	FLOOR
FTG	FOOTING
FDN	FOUNDATION
GALV	GALVANIZED
GEN	GENERAL
GEW	GABLE END WALL
GR	GRADE
HP	HIGH POINT
HS	HIGH STRENGTH
HSS	HOLLOW STRUCTURAL SECTION
HORIZ	HORIZONTAL
K	KIP (1000 POUNDS)

- W9. CONNECTIONS:
- ALL FLUSH FRAMED CONVENTIONAL WOOD JOIST CONNECTIONS TO BE SIMPSON TYPE HU OR EQUAL.
 - COMPLY WITH MANUFACTURER INSTALLATION SPECIFICATIONS FOR ALL SIMPSON (OR APPROVED EQUIVALENT) HARDWARE.
 - ALL WOOD POST BASES ON CONCRETE TO BE SIMPSON TYPE ABU OR EQUAL.
 - ANCHOR BOLTS AND BOLTS FOR STRUCTURAL TIMBER ARE TO BE ASTM A307. STANDARD CUT WASHERS ARE TO BE PROVIDED BETWEEN THE WOOD AND BOLT NUT, UNLESS STEEL PLATES OR PLATE WASHERS ARE USED, AS INDICATED ON STRUCTURAL DRAWINGS. BOLT HOLES IN STRUCTURAL TIMBER ARE TO BE 1/8 INCH LARGER THAN THE NOMINAL BOLT DIAMETER INDICATED.
 - ALL EXTERIOR CONNECTION HARDWARE INCLUDING NAILS, BOLTS, AND FABRICATED CONNECTORS IS TO BE STAINLESS STEEL OR GALVANIZED. ELECTROGALVANIZED STOCK SHALL HAVE A CLASS RATING OF 40 OR HIGHER, AND HOT-DIPPED GALVANIZED STOCK SHALL BE G-185.

- W10. ENGINEERED WOOD TIMBER
- SCHEDULE ON SHOP DRAWINGS AND PROVIDE LOAD RATED PRE-MANUFACTURED WOOD CONNECTORS FOR POSTS TO BEAM AND ALL FLUSH-FRAMED MEMBERS. PROVIDE FASTENERS IN ACCORDANCE WITH MANUFACTURER SCHEDULE FOR EACH TYPE.
 - WHERE NO MANUFACTURED WOOD CONNECTOR EXISTS, FABRICATE FROM 1/4 INCH WELDED STEEL PLATE TO CONFORM TO THE MOST SIMILAR SIMPSON CONNECTOR.
 - CONNECTION SHALL BE DESIGNED FOR MAXIMUM CAPACITY OF THE CONNECTED MEMBERS FOR THE SPANS INDICATED.
 - END BEARING OF LVL BEAMS SHALL BE 2 1/4 INCHES MINIMUM AND ACROSS THE FULL WIDTH OF THE BEAM.
 - MINIMUM BEARING LENGTHS ARE GOVERNED BY Fc PERPENDICULAR OF THE WALL PLATE = 425-PSI, OR BY 750-PSI BEARING STRENGTH OF THE VENEER LUMBER WHEN PLACED ON STEEL SUPPORTING CONNECTOR.
 - ALL LVL BEAMS REQUIRE LATERAL SUPPORT OR BLOCKING AT BEARING POINTS.
 - BUILT UP LVL BEAMS SHALL BE NAILED OR BOLTED TOGETHER IN ACCORDANCE WITH THE SCHEDULE ON THE MANUFACTURER'S LITERATURE, BUT NOT LESS THAN 3 ROWS OF 16d NAILS AT 12 INCHES O.C. THROUGH ALL PILES.
 - ADHESIVES SHALL BE PROVIDED AT ALL PLYWOOD FLOOR TO WOOD JOIST AND BEAM FASTENINGS. ADHESIVES SHALL CONFORM TO TRUSS JOIST MANUFACTURER'S STANDARDS AND MEET THE REQUIREMENTS OF ASTM D2559.

MASONRY

M1. DO NOT PERFORM ANY WET MASONRY WORK WHEN TEMPERATURE OF SURROUNDING AREA IS BELOW 40 DEGREES F, OR BELOW 45 DEGREES F, AND FALLING, OR FORECAST BY PUBLIC NEWS MEDIA TO FALL TO OR BELOW 35 DEGREES F, WITHIN 24 HOURS WITHOUT TEMPORARY HEATED ENCLOSURES OR WITHOUT HEATING MATERIALS OR OTHER PRECAUTIONS NECESSARY TO PREVENT FREEZING. MINIMUM TEMPERATURE WITHIN HEATED ENCLOSURE SHALL BE 40 DEGREES F. DO NOT USE MASONRY MATERIALS WHICH ARE LIKELY TO CONTAIN FROST. DO NOT USE ACCELERATING INGREDIENTS WITH ANY MORTAR. MORTAR SHALL HARDEN WITHOUT FREEZING AND WITH NO DAMAGE FROM FROST. PROTECT ALL WORK AGAINST FREEZING FOR NOT LESS THAN 48 HOURS AFTER INSTALLATION.

M2. PROTECT MASONRY WORK IN HOT WEATHER TO PREVENT EXCESSIVE EVAPORATION OF SETTING BEDS AND GROUT. PROVIDE ARTIFICIAL SHADE, WIND BREAKS AND USE COOLED MATERIALS AS REQUIRED. USE FRESH MORTAR. DISCARD MORTAR THAT HAS STIFFENED DUE TO HYDRATION.

M3. PREVENT GROUT OR MORTAR USED IN REPOINTING AND REPAIR WORK FROM STAINING FACE OF SURROUNDING MASONRY AND OTHER SURFACES. REMOVE IMMEDIATELY GROUT AND MORTAR IN CONTACT WITH EXPOSED MASONRY AND OTHER SURFACES.

M4. PROTECTION: PROTECT AND MAINTAIN ALL WORK IN A DRY SAFE CONDITION FOR THE DURATION OF THE WORK.

M5. PROTECTION DURING CLEANING: PROTECT PERSONS, MOTOR VEHICLES, CONSTRUCTION SITE AND SURROUNDING BUILDINGS FROM INJURY RESULTING FROM STONE CLEANING WORK.

M6. MORTAR AND GROUT MATERIALS:

- CEMENT: TYPE 1 WHITE AND/OR GRAY CEMENT AS FOLLOWS: PORTLAND CEMENT: ASTM C150 COMPLYING WITH STAINING REQUIREMENTS OF ASTM C91 FOR A LOW-ALKALI CEMENT HAVING A MAXIMUM OF 0.60% EQUIVALENT ALKALI. MORTAR SHALL SHOW NO EFFLORESCENCE WHEN CAST IN A 2' x 7' x 1/2" SLAB CONSISTING OF 1 PART OF THE CEMENT TO BE USED, 2 PARTS OTTAWA PLASTIC MORTAR SAND AND DISTILLED WATER, AND SUBJECTED TO A 7 DAY "WICK" TEST CONFORMING TO ASTM C67.
- HYDRATED LIME: ASTM C207, TYPE S.
- FINE AGGREGATE / SAND FOR MORTAR AND GROUT: ASTM C144, WASHED, CLEAN AND FREE OF SALTS. FOR USE IN MORTAR THAT WILL BE USED FOR POINTING THAT IS EXPOSED TO PUBLIC VIEW SAND SHALL MATCH THE SAND IN THE ORIGINAL MORTAR IN COLOR, COARSENESS AND GRADATION, SUBJECT TO REVIEW BY THE ENGINEER.
- WATER: POTABLE, CLEAN, FREE OF OILS, ACIDS, ALKALIS AND ORGANIC MATTER.

M7. MASONRY UNITS: HOLLOW LOAD BEARING BLOCK UNITS (CMU): ASTM C90 MOISTURE CONTROLLED; NORMAL WEIGHT.

M8. PROVIDE MORTAR CONFORMING TO ASTM C1713 "PROPORTION SPECIFICATION" IN THE FORMULATION(S) AS LISTED BELOW.

- PROVIDE THE FOLLOWING:
 - STRUCTURAL MORTAR FOR CONCRETE UNIT MASONRY CONSTRUCTION SHALL BE 1 PART PORTLAND CEMENT, 1/4 PART HYDRATED LIME AND 3-3/4 PARTS BULKED SAND.
 - SAND SHALL BE PROPERLY SELECTED AND BLENDED TO MATCH THE COLOR, TEXTURE AND APPEARANCE OF THE EXISTING MORTAR SAND, AND WHEN USED, PORTLAND CEMENT SHALL BE A COMBINATION OF WHITE AND GRAY CEMENT THAT BEST SUITS THE COLOR MATCHING OF THE EXISTING MORTAR BINDER. WHERE ADDITIONALLY NEEDED, UP TO 10% BY MINERAL OXIDE PIGMENT BY WEIGHT OF BINDER MAY BE ADDED TO BEST MATCH THE COLOR OF THE ORIGINAL MORTAR. PIGMENTS SHALL BE CHEMICALLY PURE MINERAL OXIDES, ALKALI PROOF AND LIGHT FAST, AND SHALL BE EQUAL OR EQUIVALENT TO "SOLOMON GRIND" AS MANUFACTURED BY CHEM SERVICES INC, OF SPRINGFIELD, IL.
- MORTAR SPECIFIED PER ASTM C1713 SHALL BE PROPORTIONED AND MIXED BY HAND AS PRE-PACKAGED MORTARS DO NOT CLEARLY STATE THE MORTAR MIX PROPORTIONS IN THE BAG.
- THE CONTRACTOR SHALL REVIEW TEST DATA AND PRODUCTS WITH THE ENGINEER AND ANY REQUIRED ADJUSTMENTS SHALL BE MADE. CONTRACTOR SHALL THEN SUBMIT A RECORD MORTAR MIX DESIGN ALONG WITH PRODUCT DATA SHEETS TO THE ENGINEER FOR VERIFICATION AND REVIEW BEFORE BEGINNING ANY MIXING AND/OR SETTING.

M9. MORTAR AND GROUT MIXING

- THOROUGHLY MIX MORTAR INGREDIENTS IN ACCORDANCE WITH ASTM C270 IN QUANTITIES NEEDED FOR IMMEDIATE USE.
- MIX GROUT IN ACCORDANCE WITH ASTM C94 OR THOROUGHLY MIX GROUT INGREDIENTS IN QUANTITIES NEEDED FOR IMMEDIATE USE IN ACCORDANCE WITH ASTM C476 AND/OR MANUFACTURER'S INSTRUCTIONS. MORTAR COLORS SHALL BE CHOSEN TO MATCH CLEANED STONE AND MORTAR SURFACES. CHEMICALLY CLEAN AN 18" SQUARE AREA OF WALL AT A LOCATION TO BE DESIGNATED IN THE FIELD BY THE ENGINEER FOR USE IN COLOR COMPARISON.
- DO NOT USE ANTIFREEZE COMPOUNDS TO LOWER THE FREEZING POINT OF GROUT.

M10. GROUT FOR GROUTED REINFORCED CONCRETE UNIT MASONRY AND FORMED GROUT CONSTRUCTION:

- FOR BOND BEAMS, FORMED GROUT ARCHES AND GROUTED BEARING BLOCKS-- 3,000 PSI STRENGTH AT 28 DAYS; 3-6 INCHES SLUMP; PREMIXED TYPE IN ACCORDANCE WITH ASTM C94 OR MIXED IN ACCORDANCE WITH ASTM C476 COURSE GROUT.
- FOR GROUTED CORES OF REINFORCED CONCRETE UNIT MASONRY: 3,000 PSI STRENGTH AT 28 DAYS; 8-10 INCHES SLUMP; PREMIXED TYPE IN ACCORDANCE WITH ASTM C94 OR MIXED IN ACCORDANCE WITH ASTM C476 FINE GROUT.
- CMU GROUTS SHALL HAVE 25 PERCENT FLY ASH ADDED BY WEIGHT OF CEMENT.

GENERAL

G1. WORK SHALL CONFORM TO THE REQUIREMENTS OF THE TENTH EDITION AND OTHER REFERENCES OF THE MASSACHUSETTS BUILDING CODE

G2. CONTRACTOR SHALL VERIFY & COORDINATE ALL DIMENSIONS ON THE JOB.

TEMPORARY SHORING AND BRACING

B1. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION EMPLOYED ON THIS PROJECT, AND FOR ALL TEMPORARY BRACING, SUPPORT, AND PROTECTION OF THE EXISTING STRUCTURE AND ITS PARTS. PROVIDE AND INSTALL SHORING DESIGNED TO SUPPORT THE TEMPORARY STRUCTURAL LOADS OF THE SUPPORTED ITEMS. SUBMIT SHORING PRODUCTS, CONFIGURATION, AND PROCEDURE TO THE ENGINEER FOR HIS REVIEW PRIOR TO SHORING AND BRACING. CONTRACTOR SHOULD BE PREPARED TO RETAIN THE SERVICES OF A MASSACHUSETTS-REGISTERED PROFESSIONAL STRUCTURAL AT HIS OWN EXPENSE IN ORDER TO MAINTAIN SAFE AND STABLE CONDITIONS ON THE PROJECT.

B2. SHORING SHALL BE OF ANY MATERIAL THAT IS SUITABLE FOR THE APPLICATION. TIMBER SHORING SHALL BE FULLY DRIED AND ALL END GRAIN SHALL BE SEALED TO PREVENT ABSORPTION OF WATER AND ASSOCIATED SWELLING. SHORING SHALL BE MADE STABLE, STIFF, AND SNUG FITTING SO AS NOT TO DEFLECT UNDER LOAD. PRE LOAD SUPPORTED ELEMENTS FOR SNUG FIT ONLY. SHORING SHALL DEFLECT NO MORE THAN THE GIVEN SPAN LENGTH DIVIDED BY 600.

B3. BEARING SURFACES OF SHORING SHALL BE REVIEWED WITH ENGINEER IN FIELD AND SHALL PROVIDE FOR PROPER TRANSFER OF LOADS TO SUPPORTING AND SUPPORTED ELEMENTS.

STRUCTURAL STEEL

S1. STRUCTURAL STEEL WORK SHALL CONFORM TO "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" (ASD OR LRFD, 15th EDITION (AISC 360-16); AND STRUCTURAL WELDING CODE -- STEEL (AWS D1.1-04).

S2. STRUCTURAL STEEL SHALL BE NEW STEEL CONFORMING TO THE FOLLOWING:

ROLLED STEEL SHAPES:	ASTM A992 GRADE 50
PLATES	ASTM A36
STRUCTURAL PIPES:	ASTM A53, GRADE B
STRUCTURAL TUBES:	ASTM A500, GRADE B
ANCHOR BOLTS:	ASTM A307
HIGH STRENGTH BOLTS:	ASTM A325
WELDING ELECTRODES:	AWS E70-XX

S3. SUBMIT SHOP DRAWINGS OF ALL FABRICATIONS SHOWING FIELD VERIFIED DIMENSIONS, LOCATIONS, AND CONNECTIONS TO BE MADE IN THE FIELD.. SUBMIT PRODUCT LITERATURE FOR STANDARD PRODUCTS AND/PR MASS-PRODUCED ITEMS TO BE USED.

S4. ALLOW FOR ERECTION LOADS, AND FOR SUFFICIENT TEMPORARY BRACING TO MAINTAIN STRUCTURE IN SAFE, PLUMB, AND IN TRUE ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT BRACING

S5. FIELD-WELD STRUCTURAL COMPONENTS ONLY WITH THE APPROVAL OF ENGINEER

S6. DO NOT FIELD CUT OF ALTER STRUCTURAL MEMBERS WITHOUT APPROVAL OF ENGINEER

S7. WORK SHALL BE DONE FROM APPROVED SHOP DRAWINGS ONLY

S8. AFTER ERECTION, PRIME WELDS, ABRASIONS, AND SURFACES NOT GALVANIZED

S9. PROVIDE NON-SHRINK GROUT BETWEEN ALL STEEL AND MASONRY CONTACT SURFACES FOR UNIFORM BEARING, TROWEL EDGES OF GROUTED SURFACE SMOOTH, SPLAY NEATLY TO 45 DEGREES.

STRUCTURAL WOOD

W1. WOOD CONSTRUCTION IS TO CONFORM THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS-15).

W2. NEW TIMBER FOR STRUCTURAL USE IS TO BE SURFACE DRIED AND HAVE A MOISTURE CONTENT OF NOT MORE THAN 15 PERCENT.

W3. STRUCTURAL TIMBER IS TO BE IDENTIFIED BY THE GRADE MARK OF, OR CERTIFICATE OF INSPECTION ISSUED BY, A GRADING OR INSPECTION BUREAU OR AGENCY RECOGNIZED AS BEING COMPETENT.

W4. STRUCTURAL TIMBER IS TO BE VISUALLY STRESS-GRADED LUMBER IN ACCORDANCE WITH THE PROVISIONS OF ASTM DESIGNATION D245-06, "METHODS FOR ESTABLISHING STRUCTURAL GRADES AND RELATED ALLOWABLE PROPERTIES FOR VISUALLY GRADED LUMBER."

W5. TIMBER IS TO BE HANDLED AND COVERED TO PREVENT DAMAGE AND MOISTURE ABSORPTION FROM SNOW OR RAIN.

W6. ALL STRUCTURAL WOOD IS TO HAVE THE FOLLOWING MINIMUM DESIGN STRENGTHS AND IS TO HAVE MATERIAL CERTIFICATES AND GRADE STAMPS ATTESTING THEREOF (UNITS IN PSI UNLESS OTHERWISE NOTED):

LOCATION OF USE	Fb	FT	Fv	Fc(parpr.)	Fc(parallel)	E(KSI)	Emin(KSI)
JOISTS/RAFTERS	875	450	135	425	1150	1400	510
WOOD POSTS (NO. 1, DOUGLAS FIR, SOLID TIMBERS)							
	1200	825	170	625	1000	1600	580
BEARING WALL STUDS	675	350	135	425	725	1200	440
LAMINATED VENEER LUMBER (LVL)							
	2600	1895	285	750	2510	2000	1016
PARALLEL STRAND LUMBER (PSL) (POST)							
	2400	1995	190	545	2500	1800	915
PARALLEL STRAND LUMBER (PSL) (BEAM)							
	2900	2300	290	625	2900	2000	1016

- W7. WOOD JOISTS:
- SPICES ARE TO OCCUR ONLY OVER/AT BEARING POINTS.
 - JOISTS SHALL BE TOE NAILED TO WOOD SUPPORT WITH TWO 10d NAILS OR AS SHOWN ON DRAWINGS.
 - MINIMUM BEARING FOR JOISTS = 1 1/2 INCH AT ENDS, AND 3 1/2 INCHES WHERE JOISTS ARE CONTINUOUS.
 - USE METAL JOIST HANGERS AT ALL FLUSH FRAME CONDITIONS.
 - JOISTS ARE TO BE DOUBLED UNDER PARALLEL PARTITIONS.
 - BRIDGING WILL BE SOLID USING 2"x JOIST DEPTH INSTALLED IN OFFSET FASHION. MAXIMUM SPACING = 8 FEET.
 - NO JOIST IS TO BE NOTCHED OR DRILLED WITH HOLES WITHOUT PROPER REINFORCEMENT OR UNLESS SPECIFIED BY ENGINEER.
 - JOIST SUPPORT SOLELY BY NAILING IS NOT ALLOWED BY CODE.

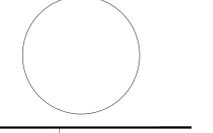
W8. BEAMS AND GIRDERS:

- GIRDERS WILL NOT REST LESS THAN 4" ON SUPPORTS.
- WHERE BEAMS AND GIRDERS OF NOMINAL 2" MEMBERS ARE SHOWN, NAIL WITH TWO ROWS OF 16d NAILS SPACED NOT MORE THAN 24" O.C., LOCATE END JOISTS IN MEMBERS OVER SUPPORTS.
- ALL BEAMS MUST BE SPLICED ONLY OVER SUPPORTS UNLESS SPECIFICALLY INSTRUCTED OTHERWISE BY THE ENGINEER.
- ALL BUILT-UP WOOD BEAMS WIDER THAN 6" AND NAILERS ATTACHED TO STEEL BEAMS ARE TO BE BOLTED WITH 3/4" DIAMETER THROUGH-BOLTS AT 2'-0" O.C. STAGGERED SPACING, UNLESS OTHERWISE NOTED.

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS.
 - DIMENSIONS GOVERN.
 - ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
 - ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY DISCREPANCIES ON DRAWINGS, OR IN THE FIELD, BY THE CONTRACTOR, BEFORE EXECUTING ANY WORK.



PROFESSIONAL SEAL



11/26/25	SCOPE SUBMITTAL
DATE	REMARKS

PROJECT TITLE

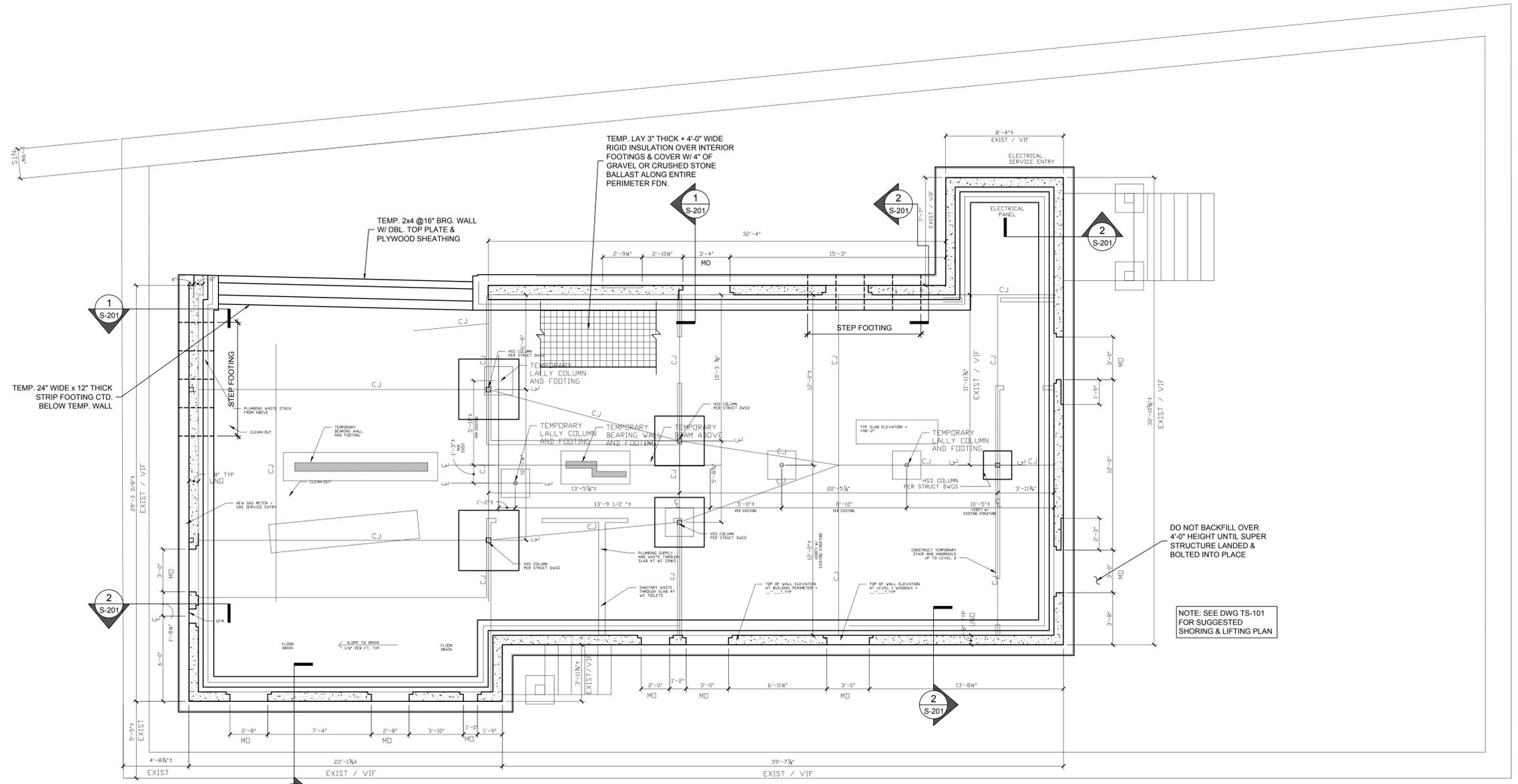
**THE W.E.B. DU BOIS CENTER
PHASE 1 B BASEMENT CONSTRUCTION
SCOPE PACKAGE**
9 ELM COURT
GREAT BARRINGTON, MA 02130

SHEET TITLE

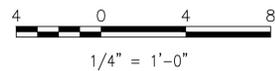
FOUNDATION PLAN

SHEET NUMBER

S-101



FOUNDATION PLAN
1/4" = 1'-0"



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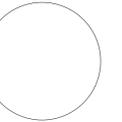
CONSULTANTS

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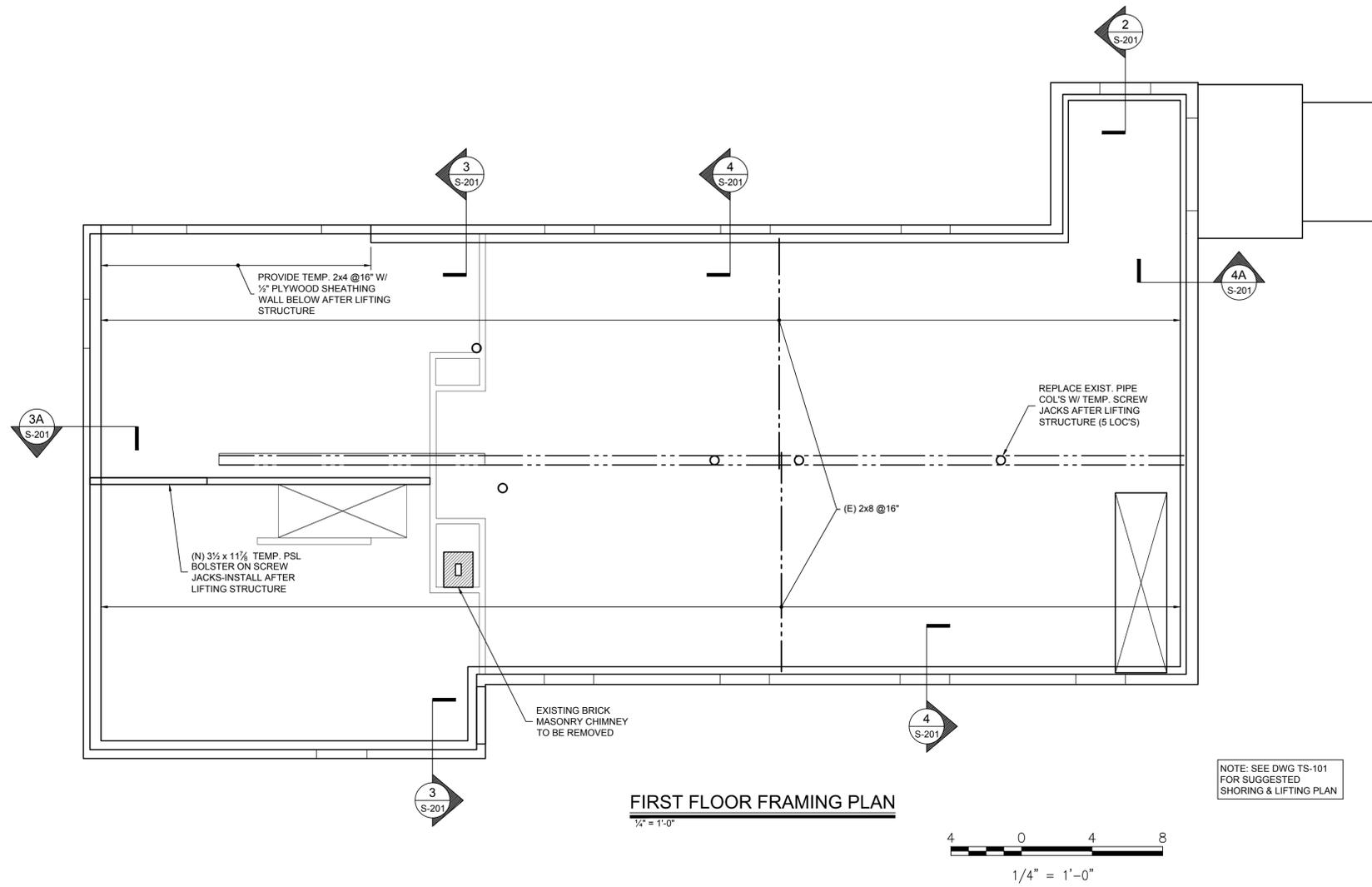
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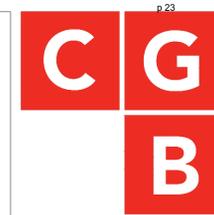
FIRST FLOOR FRAMING PLAN

SHEET NUMBER

S-102



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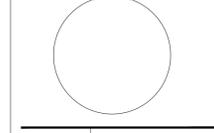
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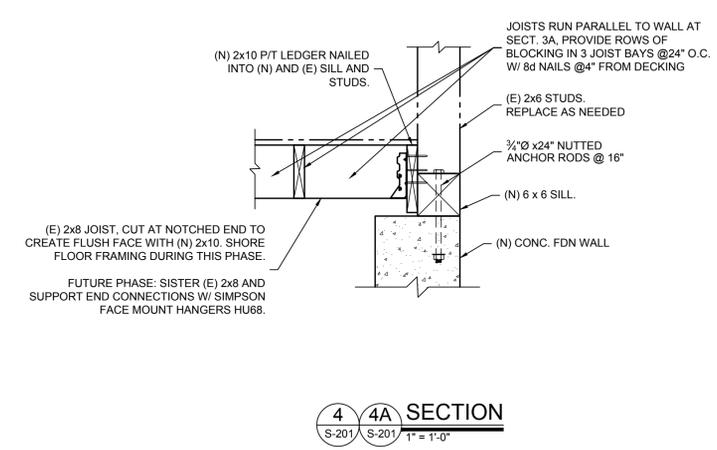
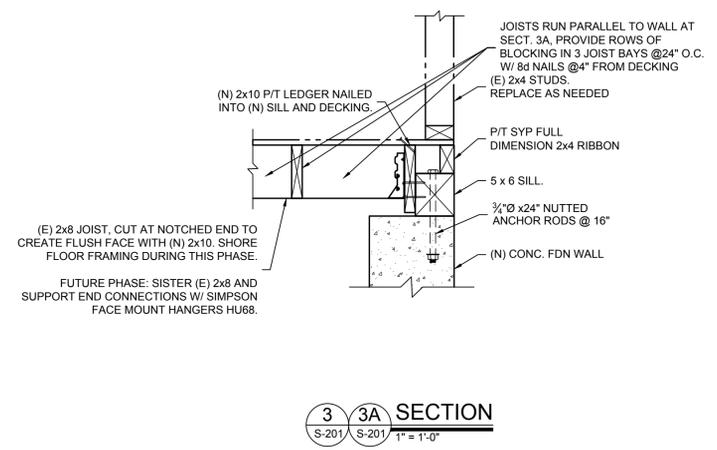
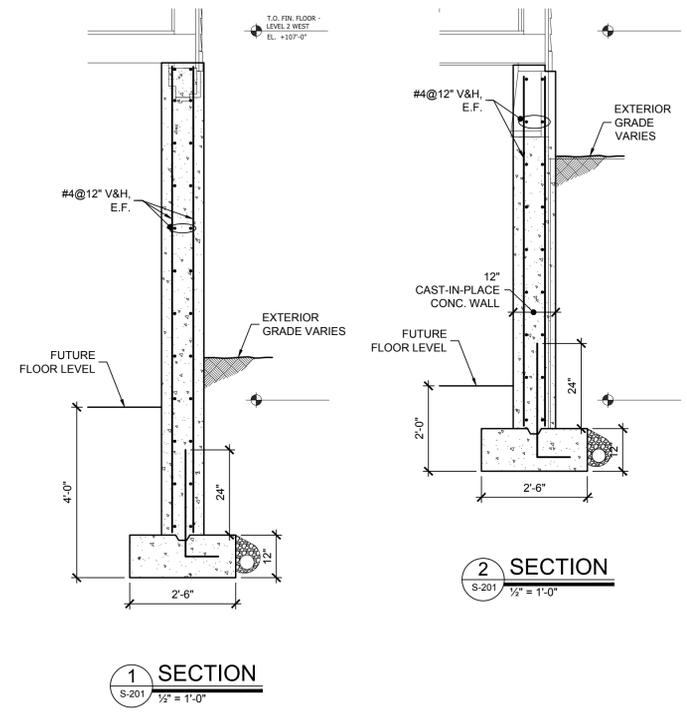
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SECTIONS

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S-201



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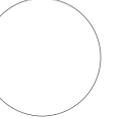
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TRUE NORTH

PROJECTED NORTH

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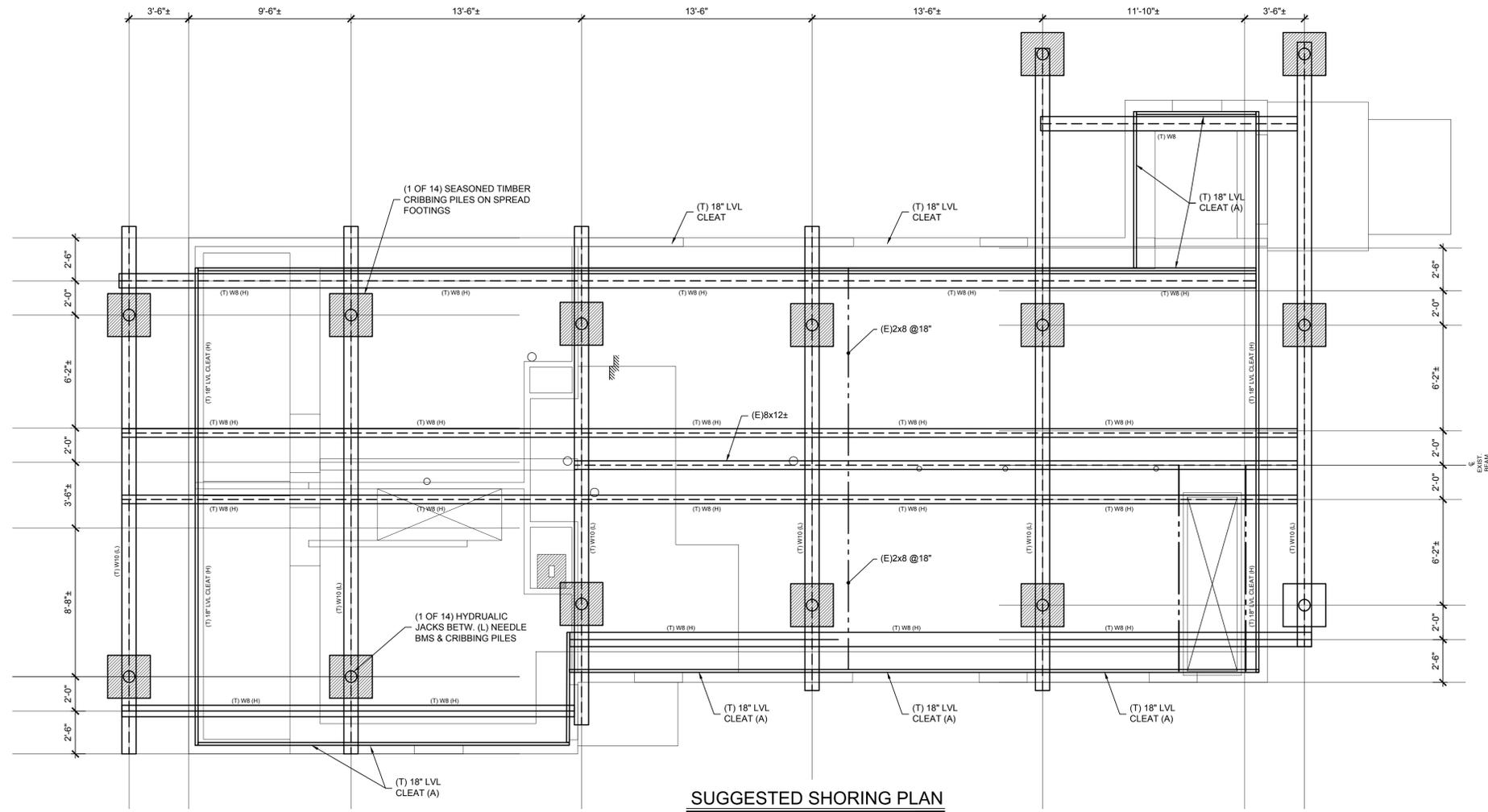
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SHEET TITLE

SUGGESTED SHORING PLAN

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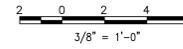
TS-101



SUGGESTED SHORING PLAN

1/2" = 1'-0"

ABBREVIATIONS:
 (E) - EXISTING
 (T) - TEMPORARY
 (L) - LOW (BELOW "H")
 (H) - HIGH (ATOP "L")
 (A) - ABOVE FLOOR (PROVIDE CRIPPLES DOWN TO (L) (H) BEAMS)



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