

COMMUNITY PRESERVATION ACT (CPA) FUND

A Dedicated Investment in Great Barrington's Historic Character, Housing, and Open Space

The Community Preservation Act (CPA) Fund represents Great Barrington's voter-authorized commitment to preserving the assets that define our community's identity and long-term vitality. Established pursuant to Massachusetts General Laws Chapter 44B, the CPA allows the Town to raise dedicated local revenue supplemented by state funding for investment in:

- **Historic Resources**
- **Community Housing**
- **Open Space**
- **Outdoor Recreation**

CPA funds are generated through a local property tax surcharge and deposited into a restricted fund separate from the General Fund. These revenues may only be used for eligible CPA purposes and must comply with statutory requirements, including mandatory reserve allocations and project eligibility standards.

As reflected in the Town's FY26 Review and FY27 Forecast presentation the CPA Fund is one of the Town's appropriated funds operating alongside the General Fund and Wastewater Enterprise Fund. While it is part of the Town's overall financial structure, it remains legally restricted and cannot be used to offset general operating expenses. This separation ensures fiscal discipline while allowing the Town to strategically invest in preservation and community-based capital projects.

Structured and Accountable Process

The Community Preservation Committee (CPC) administers a two-step application process for project funding, as outlined in the Town's CPA application materials.

Applicants must demonstrate:

- Consistency with the Town's Community Preservation Plan and Master Plan
- Clear public benefit
- Defined project scope and budget
- Leveraged funding where possible
- Long-term maintenance and protection of the asset

Projects involving historic resources must comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties. Deed restrictions or preservation easements are required where appropriate to ensure long-term stewardship of CPA-funded improvements.

Recent applications illustrate the breadth of CPA impact in Great Barrington, from preservation of National Register-listed properties and culturally significant sites, to structural rehabilitation, accessibility improvements, and protection of community-serving facilities.

Fiscal Stewardship and Long-Term Planning

CPA funds are appropriated annually by Town Meeting following CPC recommendation. Revenues, state match distributions, debt service obligations, administrative costs, and project awards are tracked separately to ensure transparency and structural balance.

Consistent with the Town's core financial principles, particularly maintaining structural balance and ensuring services do not exceed sustainable revenue, CPA investments are evaluated within a multi-year planning framework. The CPA Fund supports capital needs that would otherwise compete with operating priorities, thereby reducing pressure on the tax levy and helping stabilize the General Fund.

Investing in Community Legacy

Through CPA, Great Barrington continues to:

- Protect nationally and locally significant historic properties
- Support affordable housing initiatives
- Preserve open space and environmental resources
- Enhance recreational opportunities and community gathering spaces

The Community Preservation Act remains one of the Town's most powerful tools for safeguarding its heritage, expanding opportunity, and strengthening quality of life for current and future residents.

This section of the Budget Book provides a detailed review of CPA revenues, required reserve allocations, project appropriations, fund balances, and long-term planning considerations for FY27 and beyond.

HISTORIC PROJECTS

1. UU Meeting House of South Berkshire – \$37,000

This project supports continued exterior preservation work on the historic Unitarian Universalist Meeting House in Housatonic. Funding will address critical building envelope components to prevent further deterioration and protect a National Register-listed structure that serves as an active community gathering space.

2. Preserving the Historic Clinton A.M.E. Zion Church, Phase 1B Basement - \$200,000

This phase advances structural rehabilitation of the historic Clinton A.M.E. Zion Church, an African American heritage site associated with W.E.B. Du Bois. Work includes foundation replacement, moisture mitigation, and structural improvements to ensure long-term preservation and allow safe, code-compliant public use.

3. Historic Document Preservation and Digitization - \$50,000

This initiative preserves and digitizes Great Barrington's oldest and most vulnerable permanent municipal records, including vital records dating back to incorporation. The project protects historically significant documents while expanding public access through modern archival standards and digital preservation.

4. Elmwood Cemetery Monument Resetting - \$75,000

This project stabilizes and resets historic monuments in Elmwood Cemetery that have shifted or deteriorated over time. The work preserves historic grave markers, improves public safety, and protects culturally significant burial grounds.

5. Brown Mausoleum Roof - \$91,000

This project replaces or repairs the roof of the historic Brown Mausoleum to prevent water infiltration and structural damage. The work preserves a significant historic funerary structure and protects the integrity of the cemetery asset.

OPEN SPACE / RECREATION PROJECTS**6. Old Maid's Park – Design & Engineering - \$50,000**

This project funds design and engineering work for improvements to Old Maid's Park. Planning and technical preparation will position the Town to enhance recreational access while protecting environmental resources.

7. Housatonic Playground - \$165,000

This project upgrades and improves the Housatonic Playground to enhance safety, accessibility, and recreational value. CPA funding supports community-centered recreational infrastructure serving local families and children.

COMMUNITY HOUSING**8. Affordable Housing Trust**

This allocation supports the Affordable Housing Trust in advancing housing initiatives for low- and moderate-income residents. CPA funding provides critical leverage for housing development, preservation, and affordability efforts consistent with the Town's housing goals.

Community Preservation Committee

Category	Project Title	Town Property	Applicant	Request	CPC Recommend
Historic	UU Mtg House of South Berkshire Preservation	No	UU Mtg House of SB	\$ 37,000.00	\$ 37,000.00
	Preserving the Historic Clinton A.M.E. Zion Church — Phase 1B Basement	No	The Du Bois Freedom Center	\$ 250,000.00	\$ 200,000.00
	Monument Mills Office/HQ Rehab.	No	1100 Main Street ,LLC	\$ 400,000.00	
	Historic Document Preservation and Digitization	Yes	Town Clerk	\$ 50,000.00	\$ 50,000.00
	Mason Library Painting	Yes	Public Works	\$ 265,000.00	
	Elmwood Cemetery Monument restting	Yes	Public Works	\$ 75,000.00	\$ 75,000.00
	Water St & Mahawie Cemetery Preservation	Yes	Public Works	\$ 155,000.00	
	Brown Mausoleum Roof	Yes	Public Works	\$ 91,000.00	\$ 91,000.00
Ramsdell Library Rennovation	Yes	Library	\$ 1,500,000.00		
Open Space/Rec	Old Maid's Park Design & Engineering	Yes	Planning Dept.	\$ 50,000.00	\$ 50,000.00
	Housatonic Playground	Yes	Public Works	\$ 165,000.00	\$ 165,000.00
	Skatepark Sail Shades	Yes	Public Works	\$ 101,000.00	
Housing	Affordable Housing Trust	No	AHT	\$ 675,000.00	\$ 325,000.00
GRAND TOTAL				\$ 3,814,000.00	\$ 993,000.00

**GREAT BARRINGTON
COMMUNITY PRESERVATION COMMITTEE**

APPLICATION FOR CPA FUNDING – Step 2

Date Received (for office use only) _____

All applicants submitting Step 2 must include a copy of their Step 1 application.

All applicants must answer questions 1-11, and question 19. For question 12-18, only answer questions that are applicable to your CPA area. For example, if your project has to do with Historical Preservation but does not include Housing, then you may skip questions 12, 13 and 14, but you must answer all questions under the subheading “Historical Preservation Projects.”

You may attach additional sheets as necessary to answer the numbered questions, up to a maximum of 8 additional pages of narrative. These additional pages must be formatted with a minimum 11 point font, 1 inch margins. If your project combines two or more CPA priorities, such as Community Housing AND Open Space, then you must answer ALL questions under both of those 2 subheadings and you may include up to 10 additional pages of narrative. (Please note Open Space and Recreation is considered one CPA priority.)

All pages must be numbered. Please number each attached Page 1 of 8, Page 2 of 8, etc. If your answers are on separate sheets, also number each answer so that it corresponds with the number of the question you are answering.

Applicant Name Unitarian Universalist Meeting of South Berkshire

Project Name Exterior preservation 2024 - 2026

_____ Project Address 1089 Main Street,

Housatonic, Great Barrington Assessor’s Map 002.2

Lot 00004.0

Property Deed Book / Page 2253 / 128

1.) Project Budget (list all sources and uses, including grants, fundraising, etc.)

Total CPA funds requested: \$ 37,000

Fill in the chart below showing all project sources and uses, including requested CPA funds:

Source Name	Amount	% of total	Used for	Committed?
UUMSB building fund, capital campaign, and other donations	\$180,000	66%	extensive exterior woodwork replacement and repair, lead paint, painting, gutters	\$180K committed
CPA FY26 award	\$54,000	20%	roofing replacement of front section and tower. Completed September 2025	CPA award FY26, completed
CPA FY27 application	\$37,000	14%	roofing replacement, rear section	CPA FY27 application
	\$271,000	100%		
Total budget:				

Attach additional budget sheets or project budget if necessary. Budget pages do not count towards the 8 page limit. Be sure to include project management, oversight, engineering, and administrative costs that may be incurred. Describe all funding that has been sought and/or is available for this project.

2.) Timing of Funds: Describe when CPA funds and other funding sources are to be received.

Funding for the repairs and painting is 100% in place (cash available). Amounts pledged in the capital campaign were paid by Spring 2025, and much of the work was completed during summer 2025. CPA FY27 funds would be used for the remaining roofing replacement during summer 2026, to be completed before winter 2026/27.

3.) Existing use or deed restrictions, permanent easements, historic designations, special permits, etc. if any:

The building is of the Queen Anne and Colonial Revival styles and was built in 1892 and has been in continuous use; it replaced a building in use since 1842. The building is on the National Registry of Historic Places (ID#2000377). The only current deed restriction is for the CPA funded work for historic preservation.

4.) Proposed Use or Deed Restrictions after Project Completion (in accordance with CPA rules):

If CPA funds are awarded, UUMSB would be agreeable to implementing deed restrictions for a ten year period which would (1) require repayment of the CPA award in the event that the property is demolished and (2) impose a restriction upon UUMSB and any successors and assignees mandating that the improvements made pursuant to the award be maintained.

5.) Describe the project team, including project management personnel, design professionals, contractors, and other applicable consultants, their relevant experience, so forth. Attach additional pages/resumes as needed.

The roofing replacement contractor is to be determined; estimates have been obtained. The exterior painting and related carpentry repairs are being done by Painting by Marge (www.paintingbymarge.com). Gutter replacement is being done by Mr. Gutter from Holyoke, MA (<https://www.mrgutter.biz/>).

The project team: Bill Young (immediate past board of trustees chairperson and former large nonprofit chief operating officer with multiple facilities responsibilities), Leyn Burrows (long-time facilities management), Martha Page (nonprofit grants management), and the existing Facilities Management Committee. The team managed the prior CPA award in 2025.

Additional Information: These pages do not count towards the 8 page limit. Attach additional information as appropriate, for example:

- Project timeline;
- Plans or drawings stamped and signed by an Engineer or Architect as appropriate;
- Photographs;
- Map showing project location in town;
- Ownership letters or site control verification;
- Budgets;
- Feasibility studies;

- Existing conditions reports or needs assessments;
- Letters of support;
- Resumes and experience of key personnel;
- For Historic Preservation projects, if the project is not State Register-listed, the applicant must provide a letter from the Historical Commission which details the significance of the project to Great Barrington's history, culture, architecture or archeology.

Funding Considerations

6.) Consistency: Describe how the proposed project is consistent with the Community Preservation Plan and with the Great Barrington Master Plan.

The community preservation plan -- " Preserve buildings and sites that are listed in the National Register of Historic Places including designated National Historic Landmarks." The Master Plan includes several applicable broad goals such as to protect "compact village centers, historic treasures... that contribute to" Great Barrington's distinctive character." Similarly, to "direct development and growth into the village centers, while preserving their character by encouraging the reuse of existing sites, structure, and infrastructure." "Improvement of existing structures."

7.) Town Projects: Is the proposed project for a town-owned asset? Yes No
 If yes, please describe funding options. For example, what portion of the project budget is CPA funding? If CPA funds are not received, what are the alternative funding options, if any?

8.) Public Benefits: Describe the public benefits of the project.

Since 2014, the building has been used for numerous events and activities benefiting the community and local nonprofit organizations. These include and are not limited to Greenagers, Multicultural Bridge, People's Pantry, NAACP, Construct, Berkshire Bach, Berkshire Immigrant Center, Berkshire Bounty, Volunteers in Medicine, Railroad Street Youth Project, Literacy Network of South Berkshire, The Du Bois Freedom Center, food security initiatives, and others. There have also been a number of cooperative activities with Ramsdell Library.

9.) Leverage: Will the CPA funds be used to leverage or supplement other funding for this project? Please explain other sources and whether they have been committed.

Yes. The overall exterior preservation project includes a new roof, full building repainting, related carpentry repairs and restoration, and gutter replacement. The total cost for all components is approximately \$271K to be done in two phases, 2024 to 2026. Phase 1 was completed in spring/summer 2024. Phase 2 was started in spring/summer 2025 and will be completed in spring 2026. CPA funding is requested for the remaining roofing only.

10.) Community Input and Support: Describe any community input, meetings and/or support that you have for your proposed project. Include support letters as applicable (they will not be counted towards the 4-page limit). Letters should be unique and not reproduced form letters. Letters of support were provided in the prior application. No additional letters of support are included specific to this roof-only application.

11.) Permits: Describe permits that may be required, the status of those permits or applications, and/or when the applications will be submitted and permits received. Any required building permits and inspections will be obtained. The CPA funded project is limited to roofing replacement.

Affordable Housing Projects

12.) Affordable Housing Projects: Clearly describe how the project meets the Affordable Housing goals of the Community Preservation Plan.
N/A

13.) Affordability Level(s):
_____ % of area median income no. of units _____
_____ % of area median income no. of units _____
_____ % of area median income no. of units _____

14.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation?

Historic Preservation Projects

Applicants should note: all CPA-funded historic preservation projects must comply with the US Secretary of the Interior's standards for the treatment of historic properties.

15.) Historic Preservation Projects: Clearly describe how the project meets the Historic Preservation goals of the Community Preservation Plan.

One of the preservation plan goals is "Preserve buildings and sites that are listed in the National Register of Historic Places..."

-1089 Main Street, Housatonic is on the Registry as #02000377. Additional goals in the preservation plan include:

- Preserve a threatened historic resource
- Include a long-term maintenance plan
- Allow for public access to the historical asset

This CPA funding request aligns with these preservation plan goals.

16.) Other Information: Describe any other relevant information about the project and the site. For example: is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site; is the site or could the site be contaminated and if so what is the plan for remediation.

No additional site or project information.

Open Space and Recreation Projects

17.) Open Space and Recreation: Clearly describe how the project meets the Open Space and Recreation goals of the Community Preservation Plan.

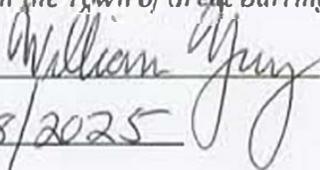
18.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals? Does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation.

Certification

19.) This application was prepared, reviewed, and submitted by:

Name: Bill Young
Ph: 860-597-2627 Email: billyoung55@att.net

I hereby certify that all of the above and included information is true and correct to the best of my knowledge. [For non-municipal applicants only: I further declare my willingness to enter into a Contract with the Town of Great Barrington to govern the use and expenditure of CPA funds.]

Signature: 
Date: 11/28/2025

All hard copies of the entire application package, and one PDF of the entire application package, are due prior to the 4:00 PM deadline.

Number all pages.

**GREAT BARRINGTON
COMMUNITY PRESERVATION COMMITTEE**

APPLICATION FOR CPA FUNDING – Step 1

Date Received (for office use only) _____

Applicant Name _____

Project Name _____

Project Address _____

Contact Person _____ Title: _____

Phone No. _____ Email _____

Brief Project Description (attach up to 1 additional page if necessary)

Amount of CPA funding you are seeking: \$_____

When do you request the CPA funding be received by your project? _____

Property Owner (if different from applicant)

Owner's Name _____

Owner's Address _____

Phone No. _____ Email: _____

If Owner is different from applicant, you must include a letter signed by the Owner giving permission to apply for funds for the specified project on the Owner's property.

In the following chart, mark the box(es) that best apply to your project.

Boxes with an X through them are not CPA eligible activities. Contact the Town Planner if you need more information.

	OPEN SPACE	HISTORIC RESOURCES	RECREATIONAL LAND	COMMUNITY HOUSING
Activities (refer to Glossary for definitions)	Land to protect existing and future well fields, aquifers and recharge areas, watershed land, agricultural land, grasslands, fields, forest land, wetland, river, stream, lake and pond frontage, land to protect scenic vistas, land for wildlife or nature preserve, and land for recreation use.	Building, structure, vessel, real property, document or artifact listed on the state register of historic places or determined by the local historic preservation commission to be significant in the history, archeology, architecture or culture of the city or town.	Land for active or passive recreational use including, but not limited to, the use of land for community gardens, trails, and noncommercial youth and adult sports, and the use of land as a park, playground or athletic field. Does not include horse or dog racing or the use of land for a stadium, gymnasium or similar structure.	Housing for low and moderate income individuals and families, including low or moderate income seniors. Moderate income is less than 100%, and low income is less than 80%, of US HUD Area Wide Median Income.
ACQUISITION Obtain property interest by gift, purchase, devise, grant, rental, rental purchase, lease or otherwise. Only includes eminent domain taking as provided by G.L. c. 44B				
CREATION To bring into being or cause to exist. <i>Seideman v. City of Newton</i> , 452 Mass. 472 (2008)		X		
PRESERVATION Protect personal or real property from injury, harm or destruction				
SUPPORT Provide grants, loans, rental assistance, security deposits, interest-rate write downs or other forms of assistance directly to individuals and families who are eligible for community housing, or to entity that owns, operates or manages such housing, for the purpose of making housing affordable	X	X	X	
REHABILITATION AND/OR RESTORATION Make capital improvements, or extraordinary repairs to make assets functional for intended use, including improvements to comply with federal, state or local building or access codes or federal standards for rehabilitation of historic properties	Only applies if property was acquired or created with CPA funds			Only applies if housing was acquired or created with CPA funds

Chart adapted from "Recent Developments in Municipal Law", Massachusetts Department of Revenue, October 2012.

End of Step 1 application

CPA Application Step 1 – Brief Project Description 1089 Main Street, Housatonic

The building at 1089 Main St., Housatonic is owned by the Unitarian Universalist Meeting of South Berkshire (UUMSB). It is on the state and federal historic registries and, built in 1892, is a prominent example of Queen Anne Revival architecture. It is adjacent to the Ramsdell Library. Since 2014, when purchased, there have been ongoing investments and improvements to the building, including electrical upgrades, increased insulation, and many other improvement projects.

The last period when significant work, beyond maintenance and small projects, was done on the building was in the late 1970s and 1980s. The exterior preservation project including carpentry, painting, and gutters started in 2024. To date, that work cost approximately \$170,000. The funds came from a combination of organization savings for the work and a capital campaign conducted in 2024.

UUMSB is seeking \$37,000 CPA support for historic preservation work – roof replacement. The asphalt shingles on the rear section are at the end of their functional life and have required a number of repairs to prevent leakage. In addition, leakage caused significant water damage in a section of exterior wall, requiring approximately \$6000 of repairs last year. The roof replacement project is made up of three distinct components – front section for \$42,000, rear section for \$37,000, and tower for \$12,000. This request is for the rear section only, as the front section and tower roof replacement were completed in September 2025.

If chosen for Step 2 of the CPA application process, UUMSB will provide all required information on the Step 2 application. Questions on the Step 1 application can be directed to Bill Young at billyoung55@att.net or by telephone: 860-597-2627

Project Timeline for CPA-funded Elements
Rear Roof Section Replacement

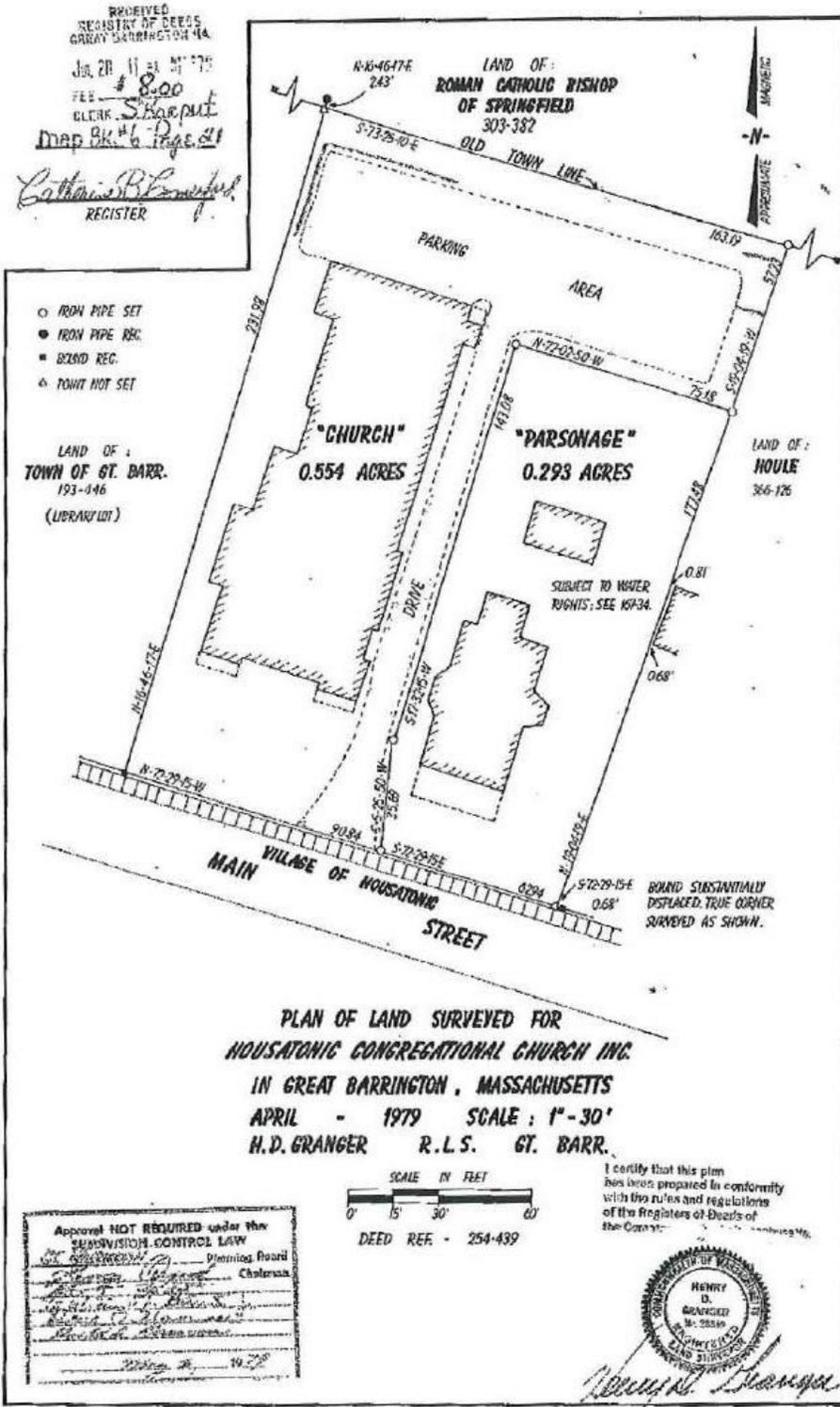
- Finalize project bids – June 2026
- Select roofing contractor and execute agreement – July 2026
- Complete roofing replacement – August 2026 through October 2026

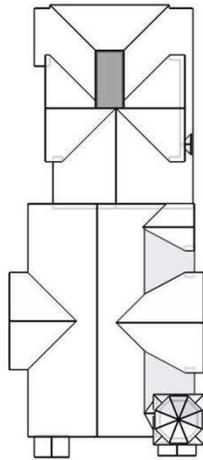
A.Lot Description



Survey Boundaries

Note that UUMSB does not own the parsonage building or lot.





In this 3D model, facets appear as semi-transparent to reveal overhangs.

PREPARED FOR

Contact: ABC Supply
 Company: ABC Supply
 Address: 1 ABC Parkway
 Beloit, WI 53511
 Phone: (800) 226-1280

TABLE OF CONTENTS

Images	1
Length Diagram	4
Pitch Diagram	5
Area Diagram	6
Notes Diagram.....	7
Penetrations Diagram	8
Report Summary	9

MEASUREMENTS

Total Roof Area = 11,096 sq ft
 Total Roof Facets = 39
 Predominant Pitch = 15/12
 Number of Stories > 1
 Total Ridges/Hips = 504 ft
 Total Valleys = 288 ft
 Total Rakes = 400 ft
 Total Eaves = 436 ft
 Total Penetrations = 13
 Total Penetrations Perimeter = 115 ft
 Total Penetrations Area = 62 sq ft

Measurements provided by www.eagleview.com



Certified Accurate

www.eagleview.com/Guarantee.aspx

IMAGES

The following aerial images show different angles of this structure for your reference.

Top View



IMAGES

North Side



South Side



IMAGES

East Side

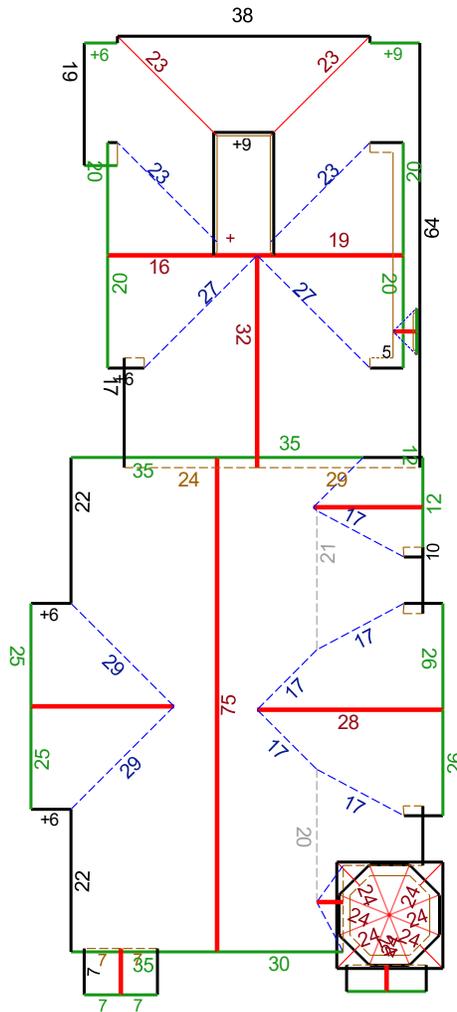


West Side

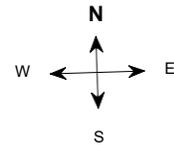


LENGTH DIAGRAM

Total Line Lengths:

Ridges = 236 ft
Hips = 268 ft
Valleys = 288 ft
Rakes = 400 ft
Eaves = 436 ft
Flashing = 113 ft
Step flashing = 164 ft
Parapets = 0 ft


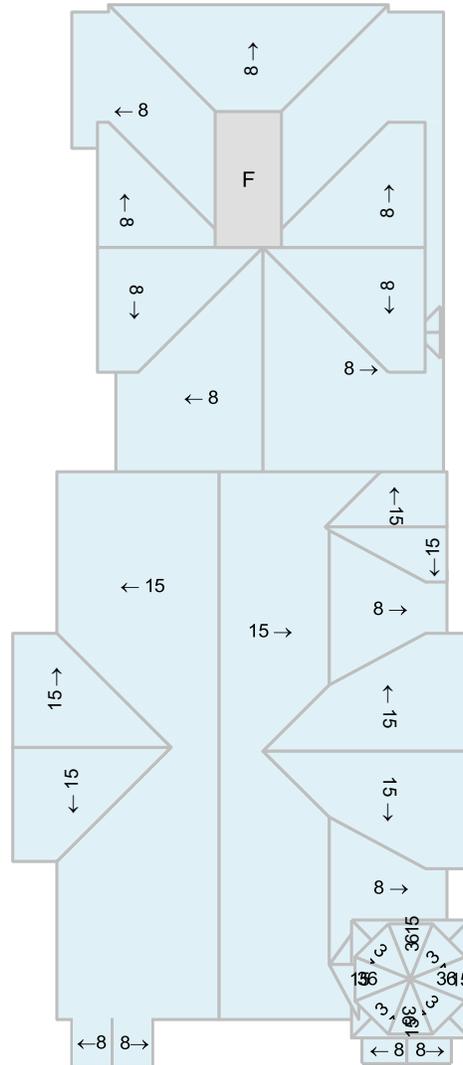
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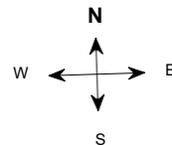
Note: This diagram contains segment lengths (rounded to the nearest whole number) over 5.0 Feet. In some cases, segment labels have been removed for readability. Plus signs preface some numbers to avoid confusion when rotated (e.g. +6 and +9).

PITCH DIAGRAM

Pitch values are shown in inches per foot, and arrows indicate slope direction. The predominant pitch on this roof is 15/12



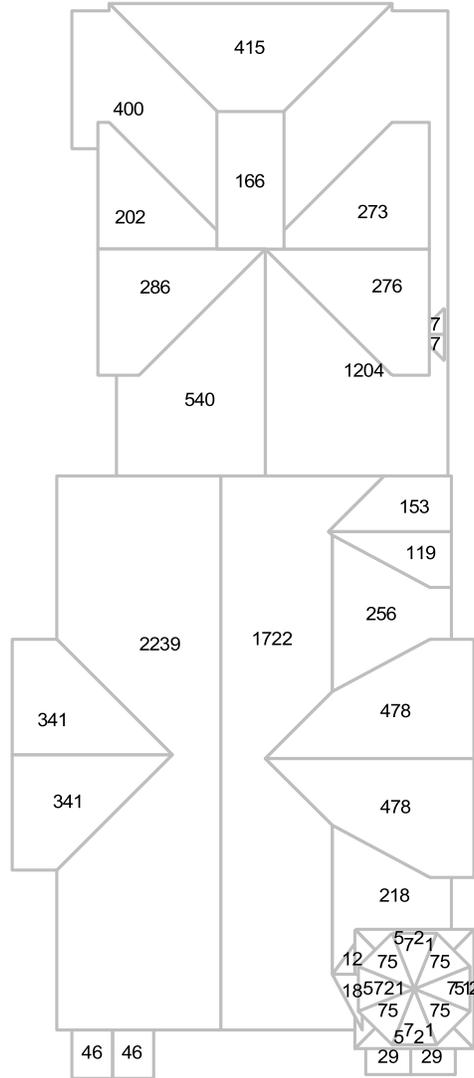
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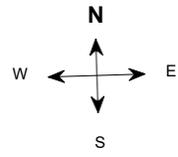
Note: This diagram contains labeled pitches for facet areas larger than 20.0 square feet. In some cases, pitch labels have been removed for readability. Blue shading indicates a pitch of 3/12 and greater. Gray shading indicates flat, 1/12 or 2/12 pitches. If present, a value of "F" indicates a flat facet (no pitch).

AREA DIAGRAM

Total Area = 11,096 sq ft, with 39 facets.



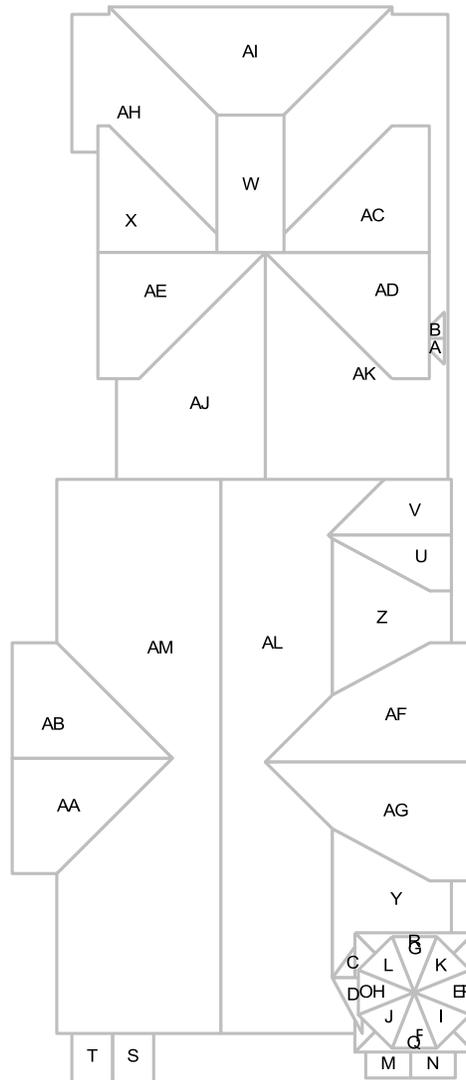
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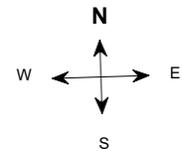
Note: This diagram shows the square feet of each roof facet (rounded to the nearest Foot). The total area in square feet, at the top of this page, is based on the non-rounded values of each roof facet (rounded to the nearest square foot after being totaled).

NOTES DIAGRAM

Roof facets are labeled from smallest to largest (A to Z) for easy reference.



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PENETRATIONS NOTES DIAGRAM

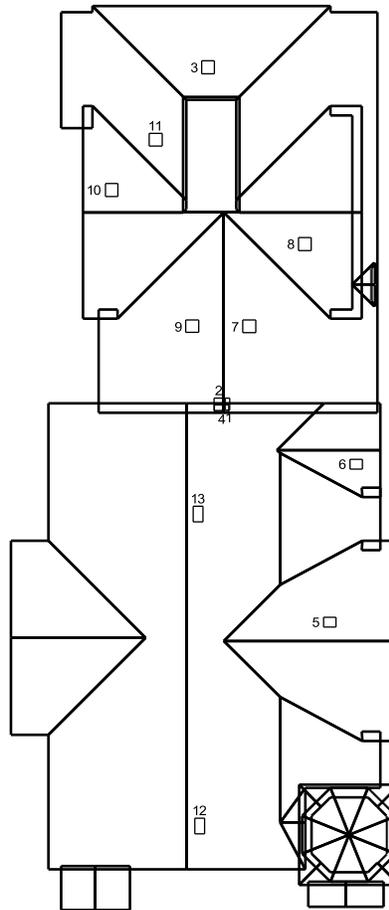
Penetrations are labeled from smallest to largest for easy reference.

Total Penetrations = 13

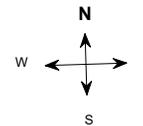
Total Penetrations Area = 62 sq ft

Total Penetrations Perimeter = 115 ft

Total Roof Area Less Penetrations = 11,034 sq ft



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REPORT SUMMARY

All Structures

Areas per Pitch						
Roof Pitches	0/12	6/12	8/12	15/12	36/12	37/12
Area (sq ft)	166.5	12.2	4251.3	6079.2	284.8	301.6
% of Roof	1.5%	0.1%	38.3%	54.8%	2.6%	2.7%

The table above lists each pitch on this roof and the total area and percent (both rounded) of the roof with that pitch.

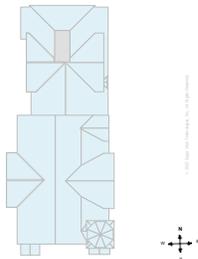
Waste Calculation Table							
Waste %	0%	10%	12%	15%	17%	20%	22%
Area (sq ft)	11,096	12205.6	12427.5	12760.4	12982.3	13315.2	13537.1
Squares	111.0	122.1	124.3	127.6	129.8	133.2	135.4

This table shows the total roof area and squares (rounded up to the nearest decimal) based upon different waste percentages. The waste factor is subject to the complexity of the roof, individual roofing techniques and your experience. Please consider this when calculating appropriate waste percentages. Note that only roof area is included in these waste calculations. Additional materials needed for ridge, hip, valley, and starter lengths are not included.

Penetrations	1	2	3-10	11	12-13				
Area (sq ft)	1.7	3.2	5	3.7	6.3				
Perimeter (ft)	5.6	7.2	9	9.4	10				

Any measured penetration smaller than 3.0x3.0 Feet may need field verification. Accuracy is not guaranteed. The total penetration area is not subtracted from the total roof area.

All Structures Totals



Total Roof Facets = 39
Total Penetrations = 13

Lengths, Areas and Pitches

Ridges = 236 ft (13 Ridges)
Hips = 268 ft (14 Hips).
Valleys = 288 ft (17 Valleys)
Rakes[†] = 400 ft (23 Rakes)
Eaves/Starter[‡] = 436 ft (39 Eaves)
Drip Edge (Eaves + Rakes) = 836 ft (62 Lengths)
Parapet Walls = 0 (0 Lengths).
Flashing = 113 ft (17 Lengths)
Step flashing = 164 ft (29 Lengths)
Total Penetrations Area = 62 sq ft
Total Roof Area Less Penetrations = 11,034 sq ft
Total Penetrations Perimeter = 115 ft
Predominant Pitch = 15/12
Total Area (All Pitches) = 11,096 sq ft

Property Location

Longitude = -73.3649492
Latitude = 42.2581540

Notes

This was ordered as a commercial property. There were no changes to the structure in the past four years.

† Rakes are defined as roof edges that are sloped (not level).
‡ Eaves are defined as roof edges that are not sloped

**GREAT BARRINGTON
COMMUNITY PRESERVATION COMMITTEE**

APPLICATION FOR CPA FUNDING – Step 1

Date Received (for office use only) _____

Applicant Name The W.E.B. Du Bois Center for Freedom and Democracy (“The Du Bois Freedom Center”)

Project Name Preserving the Historic Clinton A.M.E. Zion Church — Phase 1B Basement

Project Address 9 Elm Court, P.O. Box 1075, Great Barrington, MA 01230

Contact Person Dr. John Lloyd Title Interim Executive Director

Phone No. 617-359-0099

Email jlloyd@duboisfreedomcenter.org

Brief Project Description (attach up to 1 additional page if necessary)

The Du Bois Freedom Center respectfully requests a CPA grant of \$250,000 for the third phase of restoration work on the former Clinton A.M.E. Zion Church. Significant for its association with civil rights pioneer W. E. B. Du Bois, and its enduring role in the region’s African American community, Great Barrington’s first Black church was built in 1886-87. The Du Bois Freedom Center is transforming this National Register property into an African American cultural heritage center with exhibits and programming that will educate the public about Du Bois’ complex life and legacy, the Berkshires’ rich African American history, and the work of the church and its first female pastor, Rev. Esther Dozier. *(continued on p. 3)*

Amount of CPA funding you are seeking: \$250,000

When do you request the CPA funding be received by your project? Spring 2026

Property Owner (if different from applicant) — *SAME BUT NOTE NAME VARIATION BELOW*

Owner’s Name The W.E.B. Du Bois Center for Freedom and Democracy (f/k/a Clinton Church Restoration)

Owner’s Address Same

Phone No. Same

Email: Same

If Owner is different from applicant, you must include a letter signed by the Owner giving permission to apply for funds for the specified project on the Owner’s property.

	OPEN SPACE	HISTORIC RESOURCES	RECREATIONAL LAND	COMMUNITY HOUSING
Activities (refer to Glossary for definitions)	Land to protect existing and future well fields, aquifers and recharge areas, watershed land, agricultural land, grasslands, fields, forest land, wetland, river, stream, lake and pond frontage, land to protect scenic vistas, land for wildlife or nature preserve, and land for recreation use.	Building, structure, vessel, real property, document or artifact listed on the state register of historic places or determined by the local historic preservation commission to be significant in the history, archeology, architecture or culture of the city or town.	Land for active or passive recreational use including, but not limited to, the use of land for community gardens, trails, and noncommercial youth and adult sports, and the use of land as a park, playground or athletic field. Does not include horse or dog racing or the use of land for a stadium, gymnasium or similar structure.	Housing for low and moderate income individuals and families, including low or moderate income seniors. Moderate income is less than 100%, and low income is less than 80%, of US HUD Area Wide Median Income.
ACQUISITION Obtain property interest by gift, purchase, devise, grant, rental, rental purchase, lease or otherwise. Only includes eminent domain taking as provided by G.L. c. 44B				
CREATION To bring into being or cause to exist. <i>Seideman v. City of Newton</i> , 452 Mass. 472 (2008)		X		
PRESERVATION Protect personal or real property from injury, harm or destruction				
SUPPORT Provide grants, loans, rental assistance, security deposits, interest-rate write downs or other forms of assistance directly to individuals and families who are eligible for community housing, or to entity that owns, operates or manages such housing, for the purpose of making housing affordable	X	X	X	
REHABILITATION AND/OR RESTORATION Make capital improvements, or extraordinary repairs to make assets functional for intended use, including improvements to comply with federal, state or local building or access codes or federal standards for rehabilitation of historic properties	Only applies if property was acquired or created with CPA funds			Only applies if housing was acquired or created with CPA funds

Chart adapted from "Recent Developments in Municipal Law", Massachusetts Department of Revenue, October 2012.

Historical Significance

Dedicated in 1887, the Clinton A.M.E. Zion Church served as the spiritual, cultural, and political center of local African American life for nearly 130 years. The A.M.E. Zion Society that built the church was a formative influence in the life of W.E.B. Du Bois, who was born and raised in Great Barrington. The shingle-style church, a distinctive example of 19th-century vernacular church architecture, is also significant for its association with the religious and cultural heritage of African Americans in rural New England, and the congregation's involvement in the Civil Rights Movement. It is listed on the National Register of Historic Places, the Massachusetts Register of Historic Places, the Upper Housatonic Valley African American Heritage Trail, and has been named one of Massachusetts' Most Endangered Historic Resources. It is also located in Great Barrington's Downtown Cultural District.

Status of Work to Date

Rehabilitation of the historic church building has been guided by the project's 2018 historic structure report, in which a two-phase project was anticipated. However, due to the building's poor condition and extensive structural damage, and the impacts of the COVID-10 pandemic, the planned Phase I construction was divided into three sub-phases:

- Phase IA Roof — COMPLETED
This phase included initial roof repair and emergency stabilization work. (2019-2021)
- Phase IB Structure — COMPLETED
This phase comprised final roof repair/replacement, installation of new cedar shingles, and major structural upgrades. (2022-2025)
- **Phase IB Basement — THIS APPLICATION (see below)**
This phase will address the basement's longstanding water infiltration problems and make it suitable for program use in a manner that complies with all relevant building codes.

In addition to the Phase I work outlined above, the Center's design team has made significant progress on the development of its Phase II architectural and engineering plans and permitting. In 2025, a special permit to alter a nonconforming structure was issued by the Great Barrington Zoning Board of Appeals, and site plan approval was granted by Town Planning Board.

Current Request: Phase IB Basement

The Center now seeks funding for its third round of construction work, Phase IB Basement. Slated for 2026-2027, this phase will include:

- Raising the building 24 inches to significantly improve drainage and moisture conditions, and allow for a usable, code-compliant basement with a 7'10" ceiling (vs. the current 6'4"). The work will involve site prep, development of a lifting plan by a specialized contractor, installation of structural shoring, and lifting the building.
- Full replacement of the existing stone foundation and slab with new cast-in-place concrete. This approach was recommended by the project's structural engineer, after their 2022 assessment led to a determination that repair of the existing foundation, which is mostly dry-laid stone with daubs of semi-decomposed mortar between them, would be insufficient. The work will include waterproofing of the new foundation, as well as related drainage and site work.

All work is being done in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties. An easement will restrict the property in perpetuity.

GREAT BARRINGTON COMMUNITY PRESERVATION COMMITTEE
APPLICATION FOR CPA FUNDING – Step 2

Date Received (for office use only) _____

Applicant Name The W.E.B. Du Bois Center for Freedom and Democracy (“The Du Bois Freedom Center”)

Project Name Preserving the Historic Clinton A.M.E. Zion Church — Phase 1B Basement

Project Address 9 Elm Court, P.O. Box 1075, Great Barrington, MA 01230

Assessor’s Map 13 Lot 14-206

Property Deed Book / Page 022419 / 118

1.) Project Budget (list all sources and uses, including grants, fundraising, etc.)

Total CPA funds requested: \$250,000

Fill in the chart below showing all project sources and uses, including requested CPA funds:

Source Name	Amount	% of total	Used for	Committed?
Town of GB CPA Fund	250,000	15%	Ph IB Basement	This application
Mass Office of Travel & Tourism	155,000	9%	Ph IB Basement	Yes
Nat’l Trust AACH Action Fund	250,000	15%	Ph IB Basement	Pending
Mass Cultural Facilities Fund	200,000	12%	Ph IB Basement	Pending
Private foundation Grant	250,000	15%	Ph IB Basement	Planned
Add’l fed, state, foundation grants	450,000	27%	Ph IB Basement	Planned
Individual donations	83,692	5%	Ph IB Basement	Planned
Total budget:	\$1,638,692	100%		

A detailed project budget is attached.

2.) Timing of Funds: Describe when CPA funds and other funding sources are to be received.

- Town of GB CPA funds (this application) Summer 2026
- MOTT Destination Development Capital Grant funds (pending) Summer 2026
- National Trust AACH Action Funds (pending) Spring 2026
- Mass Cultural Facilities Fund funds (pending) Summer 2026
- Private foundation grant (planned) Spring 2026
- Additional federal, state, and foundation grants (planned) Summer-Fall 2026
- Individual donations (planned) Summer-Fall 2026

Note: except for MOTT, specific funders listed above have previously awarded grants to the project.

3.) Existing use or deed restrictions, permanent easements, historic designations, special permits, etc. if any:

The Clinton A.M.E. Zion Church is listed on the National Register of Historic Places, the State Register of Historic Places. The National Register listing was recently amended to acknowledge the church's significance to the Civil Rights Movement.

Located in the Downtown Great Barrington Cultural District, the church is a site on the Upper Housatonic Valley African American Heritage Trail, the W.E.B Du Bois Walking Trail, and Tufts University's African American Trail Project. It was also named to Preservation Massachusetts' list of Massachusetts Most Endangered Resources.

In 2024, a special permit to alter a nonconforming structure was issued by the Great Barrington Zoning Board of Appeals, and site plan approval was granted by Town Planning Board. In addition, the Town approved the transfer of an adjacent parcel (.02 acres) to the Center; the deed transfer is pending review by Town Counsel.

4.) Proposed Use or Deed Restrictions after Project Completion (in accordance with CPA rules):

A preservation restriction agreement between the Commonwealth of Massachusetts by and through the Massachusetts Historical Commission and the W.E.B. Du Bois Center for Freedom and Democracy, Inc. (f/k/a Clinton Church Restoration, Inc), will protect the Clinton A.M.E. Zion Church property in perpetuity. In addition to complying with funder requirements (including those of the CPA) the preservation restriction will ensure that the property is maintained and its historic integrity is respected. It will be executed upon completion of the building's rehabilitation.

5.) Describe the project team, including project management personnel, design professionals, contractors, and other applicable consultants, their relevant experience, so forth. Attach additional pages/resumes as needed.

The Center's architectural and engineering design team has extensive experience with grant-funded historic preservation projects and has been involved with the restoration of the Clinton A.M.E. Zion Church for many years. The team includes:

- Clark, Green + Bek (preservation architecture and construction administration)
- Structures North Consulting Engineers (structural engineering)
- Foresight Land Services (civil engineering)
- Landmark Facilities Group (MEP engineering)
- Walter Cudnohufsky Associates (landscape architecture)
- Collaborative Lighting (lighting consultant)
- Talevi and Haesche (construction cost estimator)

CVs are attached for the primary team members involved with Phase IB Basement: Jacob Bek, Steve McAllister, and Tobias Bernercker of Clark, Green + Bek; John Wathne and Jill Borghardt of Structures North; and Steve Mack of Foresight Land Services. Firm profiles are available upon request.

The Center will hire an owner's rep to manage the project from the bidding phase through construction.

6.) Consistency: Describe how the proposed project is consistent with the Community Preservation Plan and with the Great Barrington Master Plan.

Community Preservation Plan

This project fulfills the Historic Preservation goals of the Community Preservation Plan, which states: “Great Barrington’s historic legacy and cultural resources are important contributors to our quality of life and economy.” The church project will restore a historically significant site, revitalize a deteriorated downtown building, and draw local residents and tourists to the town center, creating vitality and economic activity.

Great Barrington Master Plan

Historic Preservation advances the Great Barrington Master Plan’s core initiatives by “protecting our community character, enhancing our neighborhoods, and promoting redevelopment of our village centers”. This project aligns with these goals in several ways:

Historic Preservation: Once completed, the historic Clinton Church will become a cultural and economic resource in Great Barrington’s downtown. The Plan’s vision articulates an “embrace of people of many ages, incomes, and ethnicities,” and calls for “history, walkable neighborhoods, and vibrant village centers” as the foundation for the town’s future viability. The Master Plan identifies the value of a walkable downtown that is rich with cultural opportunities that will help support the surrounding mix of shops and restaurants. A vibrant cultural heritage center will draw local residents and tourists through a robust schedule of programs, exhibits, and events.

Historic resource preservation will also help Great Barrington be a more sustainable community. It creates jobs and increases property tax revenue and tourism. It preserves important educational opportunities and resources. It reuses existing buildings and directs growth pressures to locations where infrastructure already exists, allowing for the conservation of important landscapes.

Land Use: The Plan calls for redevelopment of dilapidated properties and to “support Downtown so That it continues to prosper as a regional hub of business, employment, entertainment, and civic life”. The restoration will transform a vacant building into a vibrant and welcoming community resource in the heart of downtown.

Tourism: According to the Plan, historical and cultural resources “are an important basis of our downtown tourism”. Heritage tourism continues to be one of the fastest growing markets in the country, with heritage tourists spending more than tourists in other sectors. Interest in sites devoted to African American and civil rights history in particular have grown dramatically, a trend accelerated by the opening of the National Museum of African American History and Culture in 2019. According to the CEO of the American Association for State and Local History, museums and cultural organizations, its members “are all working on emphasizing the history of civil rights and the history of race relations... it’s a priority for everyone.” (2018 article in Stateline, an initiative of The Pew Charitable Trusts).

This project is uniquely positioned to draw these and other tourists to Great Barrington, where the Center will tell the story of W.E.B. Du Bois in his hometown and provide a window into the largely untold history of African Americans in rural New England.

7.) Town Projects: Is the proposed project for a town-owned asset? No

8.) Public Benefits: Describe the public benefits of the project.

The effort to transform the historic Clinton A.M.E. Zion Church into an African American cultural heritage center is part of a national movement to preserve historically important African American and civil rights heritage sites around the country and to more accurately present the full scope of

American history. The project has received considerable local, regional, and national attention and has also brought significant new funding to Great Barrington. The project's early success was called out in Great Barrington's application to establish a downtown cultural district. The historic church, located in a historically African American neighborhood, is now a key site anchoring the northern end of the district. Continued success will provide additional public benefit in a number of ways:

Preserve and interpret local history: The Clinton A.M.E. Zion Church played a central role in the history of the African American community and civil rights in the Berkshires, a story that has been long overlooked. The founding congregation had a formative influence on the life and work of W.E.B. Du Bois, the internationally known scholar and activist who has been called "the premier architect of the Civil Rights movement." Interpretive exhibits and programming will explore the rich Black history of the Berkshires, including Du Bois' complex legacy and the contributions of luminaries from Agrippa Hull to James Van Der Zee. They will also keep alive the stories of the church, its first female pastor, the Rev. Esther Dozier, and its members through oral histories and archives.

Heritage tourism site: With its focus on W.E.B. Du Bois and the legacies of African Americans in 19th- and 20th- century rural New England, the Center will bring new groups of students and tourists to the Berkshires by leveraging national trends in African American, civil rights, and heritage tourism, which are among the fastest growing sectors in the industry. The project will add a unique new site to the region's rich cultural offerings.

Cultural and educational resource: The restored church's flexible performance space, interpretative exhibits and visitor center will provide space for the Center's planned educational and cultural programming dedicated to local African American heritage and culture. With seating for 75-100, the former sanctuary will complement the larger downtown performance venues for groups seeking rental space. The downstairs social hall will provide community meeting space with kitchen facilities.

9.) Leverage: Will the CPA funds be used to leverage or supplement other funding for this project? Please explain other sources and whether they have been committed.

Yes. The Center has a proven track record of leveraging grants for additional funding. This CPA grant, if awarded, will supplement a \$155,000 MOTT Destination Development Capital Grant just awarded by the Commonwealth, and other grants for which the Center has applied or will be applying this month, including the National Trust Action Fund, Mass Cultural Facilities Fund, and a local private foundation, all of whom have funded the project in the past. Historically, we have found that having financial support from the Town reflects well on the project, and we believe it will help to leverage other grants (including from the National Park Service) and donations the Center plans to pursue in 2026.

10.) Community Input and Support: Describe any community input, meetings and/or support that you have for your proposed project.

- **Local support:** The Center has received significant input and support from the community since the project's inception. To date, nearly 900 individuals have donated to the project. Thousands of community members have attended the Center's events, which include a wide range of performances, lectures, and guided tours. Many of these events have been held in collaboration with local organizations, including Housatonic Heritage, Mahaiwe Performing Arts Center, Saint James Place, Great Barrington Land Conservancy, Dewey Hall, The Mount, Jacob's Pillow, and the Clark Art Institute. Educational partnerships with UMass Amherst, Mass College of Art, and the Du Bois Middle School provide curriculum-based opportunities for students to more engage more deeply with the Center's interpretive and programming work.
- **Community input in planning:** Community input to ensure the development of an appropriate

and sustainable vision for the future of the Clinton A.M.E. Zion Church has also been an ongoing priority. Planning workshops, design charrettes, audience research, and presentations have been used to garner input from individual stakeholders, organizations, and the public. As part of our application for a special permit in 2024, the Center's plans were presented in public meetings and hearings of the Planning Board, Selectboard, Design Advisory Committee, and Zoning Board of Appeals.

- **Letters of support:** Formal letters in support of this application from the following people have been included as attachments to this application: State Senator Paul W. Mark, State Representative Leigh Davis, Berkshire Regional Tourism Council Director Lindsey Schmid, and GB Historical Commission Chairman Malcolm Fick.
- **Partnerships:** From the outset, the Center has had strong partnerships with the Upper Housatonic Valley National Heritage Area (Housatonic Heritage) and UMass Amherst, two of the institutions involved in the development of a 2009 master plan for interpreting the legacy of W.E.B. Du Bois in Great Barrington. The plan, *W.E.B. Du Bois Boyhood Homesite and Great Barrington: A Plan for Heritage Conservation and Interpretation*, was the outcome of a comprehensive planning process that included local residents, educators, design professionals, and a representative from the National Museum of African American History and Culture, and has been a foundational resource for the Center's work.

Housatonic Heritage, a program of the National Park Service, has been an integral partner in the project, serving as our organization's financial sponsor prior to our receiving 501c3 status and acting as a conduit for three National Park Service grants. In addition, they have provided ongoing support in the form of sponsorships, grants and technical assistance, most recently providing funding for the establishment of the Center's field office and storefront popup at 309 Main Street in Great Barrington. Housatonic Heritage's executive director serves on the board of directors, *ex officio*.

The University of Massachusetts Amherst, which houses the papers of W.E.B. Du Bois and maintains his Boyhood Homesite in Great Barrington, has been another foundational partner. Collaborations have ranged from guided tours, archaeological field schools, and the development of interpretive signage in various downtown Great Barrington locations. Faculty and students from the university continue to contribute to the project in a range of roles. The Center's current history and interpretive fellow is a Ph.D. candidate in the Afro-American Studies and Public History departments.

New educational partnerships are being forged with the Du Bois Middle School in Great Barrington and Mass College of Art and Design in Boston, while ongoing collaborations with the Mahaiwe Performing Arts Center, Jacob's Pillow, Saint James Place, the Mount, and others continue to support and expand the Center's programming.

11.) Permits: Describe permits that may be required, the status of those permits or applications, and/or when the applications will be submitted and permits received.

A special permit to alter a nonconforming structure was issued by the Great Barrington Zoning Board of Appeals in March 2024. The following month, the Planning Board approved the project's site plan. Although we are prepared to commence work related to the permit within the required two-year window, we would prefer to wait until a general contractor can be hired for the full scope of work later in the year. For this reason, we plan to request a request for one-year extension from the ZBA.

Prior to going out to bid, the architectural and engineering plans for Phase IB Basement must be approved by the State Historic Preservation Office. This submission is planned for Spring 2026. Should

the National Park Service provide funding for a later portion of the work, they will also review these plans. Once hired, the contractor will obtain a building permit from the town.

12.) N/A

13.) N/A

14.) N/A

Historic Preservation Projects

Applicants should note: all CPA-funded historic preservation projects must comply with the US Secretary of the Interior's standards for the treatment of historic properties.

15.) Historic Preservation Projects: Clearly describe how the project meets the Historic Preservation goals of the Community Preservation Plan.

The Center's plans are closely aligned with the Historic Preservation goals identified in the Community Preservation Plan, which states that historic preservation is *"essential to our small town feeling and sense of place, and are vital elements of our tourism sector."* In addition, *"historic resource preservation helps Great Barrington be a more sustainable community"* by reusing existing buildings, promoting tourism, and providing educational opportunities.

Central to the Center's mission is the preservation of a downtown building for adaptive reuse as an educational resource, community cultural center, and heritage tourism site. The planned center, current programming, and new downtown storefront pop-up are all working in service of the plans' goals:

- **Preserving a site listed on the National Register of Historic Places:** The Clinton A.M.E. Zion Church (Information System Number: 08000464) was listed in 2008 for its Historically Significant Architecture. The Queen Anne, shingle-style, wood framed building is a distinctive example of late 19th century vernacular church architecture. The sanctuary and entryway have retained much of the building's 1887 character including the exterior clapboard siding, belfry, sanctuary ceiling, and two stained glass windows. In 2024, an amendment to the listing extended the period of significance to encompass the property's Civil Rights Era history and coincides with the transfer of the church's management from the local parish to the Boston district of the national A.M.E. Zion Church. All work is being undertaken in compliance with Secretary of the Interior's Standards for the Treatment of Historic Properties.
- **Preserving a threatened historic resource:** In 2018, Preservation Massachusetts added the church to its list of the state's most endangered resources. The vacant building had been severely damaged by water infiltration and structural failure and might have been lost had the Center (then called Clinton Church Restoration) not intervened to stabilize and rehabilitate it.
- **Preserving artifacts and records that are significant to the history of Great Barrington:** The church has been an anchor of the small African American neighborhood behind Main Street for 130 years. It has been the most enduring African American church in Berkshire County and the only extant building integrally associated with W. E. B. Du Bois's formative years. Scholar Homer Meade called the church "a crucible that nurtured the spirit and honed the skills of 'Willie' Du Bois." David Levering Lewis, Du Bois's biographer described it as "a place of continual and important social reference for him." Cataloging of the Center's collection is underway and some artifacts are currently on display at the Center's downtown storefront pop-up.
- **Public access:** Since its formation, the Center has offered a wide range of public programming, often in partnership with local venues. Over the years, tours, concerts, lectures, and other events have helped to build an audience and awareness of the project. In October 2024, we opened a new storefront pop-up at the Center's field office at 309 Main Street in Great Barrington. This visible

downtown location will serve as a dynamic community venue, featuring rotating displays that highlight local Black history, including Du Bois and the Clinton A.M.E. Zion Church. Staffed by the Center’s history and interpretive fellow, volunteers, and student interns, it will provide a base for guided walking tours of Black history- and Du Bois-related sites in Great Barrington. Once the transformation of the church is completed, the Center will be fully accessible to the public, offering museum-quality interpretive exhibits, programming, and community events.

16.) Other Information: Describe any other relevant information about the project and the site. For example: is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site; is the site or could the site be contaminated and if so what is the plan for remediation.

Zoning: The site is in a B2 General Business Zone and also in the Village Center Overlay District. As noted above, in 2024, the Center received a special permit to alter a nonconforming structure was from the Great Barrington Zoning Board of Appeals, and site plan approval was granted by Town Planning Board.

17.) N/A

18.) N/A

Certification

19.) This application was prepared, reviewed, and submitted by:

Name: Eugenie Sills, Grants Consultant
Ph: 413-329-8748 Email: esillsconsulting@gmail.com

Name: John Lloyd, Interim Executive Director
Ph: 617.359.0099 Email: jlloyd@duboisfreedomcenter.org

I hereby certify that all of the above and included information is true and correct to the best of my knowledge. [For non-municipal applicants only: I further declare my willingness to enter into a Contract with the Town of Great Barrington to govern the use and expenditure of CPA funds.]

Signature:  _____ Date: 12/2/25

Signature:  _____ Date: 12/2/25

Attachments

- Question #5 continued (CVs)
- Images
- Project narrative, timeline, budget
- Letters of support
- Separate: A/E package (Phase IB Basement drawings, site plan, etc.)

JACOB BEK, RA, NCARB, LEED AP

Principal Architect

EDUCATION

- Master of Science, Architectural Association School of Architecture
- Bachelor of Architecture (Honors), Pratt Institute
- Studio Exchange, Central Academy of Fine Arts
- Associate of the Arts, Bard College at Simon's Rock

AFFILIATIONS

- Licensed Architect, New York, Massachusetts, New Jersey
- Member, Architectural Association, Inc.
- Member, USGBC (United States Green Building Council)
- LEED AP, Leadership in Energy and Environmental Design
- National Council of Architectural Registration Boards
- Board Member, Berkshire Habitat for Humanity

PROFESSIONAL EXPERIENCE

2014 - Present	Founder, JBA Collective, New York, NY
2022 - Present	Principal, Clark Green + Bek, Great Barrington, MA
2009 - 2015	Co-Founder, studioMADOUHBEK, New York Kuwait
2011 - 2012	Faou Foundation Mariko Mori Studio, New York, NY
2009 - 2010	Reiser + Umemoto, RUR Architecture PC, New York, NY
2007 - 2010	Norman Foster and Partners, New York London
2006 - 2007	Nelligan White Architects PLLC, New York, NY
2004 - 2006	RSVP Art and Architecture Studio PLLC, Brooklyn, NY

ACADEMIC EXPERIENCE

- Visiting Professor, Pratt Institute School of Architecture + Interior Design
- Adjunct Professor, Parson School of Design – The New School
- Adjunct Professor, Fashion Institute of Technology
- Invited Critic, Ongoing Pratt Institute School of Architecture

AWARDS, EXHIBITIONS, LECTURES and WORKSHOPS

- Public Exhibition: Median Frequency, Beyond the Centerline, Shortlisted Competition Entry, Park Avenue Plaza, Feb 2018
- IDA - International Design Awards, Bronze Metal, Residential Nasima, 2017
- New Views: Art and Design Faculty Exhibition, FIT, 2015
- Lynn and Carl Goldstein Gallery, JBA Current Works, 2015
- On View Now THE SPACES | SELECT : Exhibition and Book Launch, sMB Current Works, 2014
- studioMADOUHBEK Works, Kansas Gallery New York, 2013
- First Day on the Job Symposium, AIA NY, 2013
- Downtown Design, Center for the Now, Dubai, 2013
- TU Awards, Finalist Achievement in Engineered Timber Award, Birmingham UK, 2013

STEVE MCALISTER, AIA, NCARB

Senior Architect

EDUCATION

- Master of Architecture, University of Utah
- Bachelor of Arts, History, University of Utah
- National Council of Architectural Registration Boards
- Licensed Architect, Louisiana, Connecticut and Massachusetts
- Foreign Study: Bergen, Norway

PROFESSIONAL EXPERIENCE

2001 - Present	Clark Green + Bek (formerly Clark & Green), Great Barrington, MA
1999 - 2001	Associate, P2 Architects, LLC, Plainville, CT
1988 - 1999	Principal, McAlister Architects, New Hartford, CT
1986 - 1988	Senior Architect, Galliher & Baier Architects, Simsbury, CT
1983 - 1985	Senior Architect, Haspel Kansas Inc., New Orleans, LA
1980 - 1982	Architect, August Perez Associates Inc., New Orleans, LA
1977 - 1979	Intern, Brixen & Christopher Architects, Salt Lake City, UT

COMMUNITY SERVICE

- Zoning Board of Appeals, Town of Great Barrington, MA
- Board Member, Berkshire South Regional Community Center, Great Barrington, MA
- Past Chairman, Town of Tolland Planning & Zoning Board, Tolland, MA

DESIGN AWARDS

- Collinsville Congregational Church Sanctuary Renovations, Collinsville, CT
- Connecticut Society of Architects Honor Award for Design, 1993
- National Historic Register Project
- #10 Courtyard Building Addition, Simsbury, CT
- Greater Hartford Architecture Conservancy Merit Award for Renovation, 1989
- Emery Economics Building Addition, University of Utah, Salt Lake City, UT
- American Institute of Architects, Western Region Honor Award, 1983
- National Historic Register Project
- Horsemen's Building, New Orleans
- Historic District Landmarks Commission of the City of New Orleans
- Honor Award for New Construction, 1984
- Toney's Restaurant Renovation, Bourbon Street, New Orleans
- Vieux Carre (French Quarter) Commission of the City of New Orleans
- Merit Award for Renovation, 1982



TOBIAS BERNECKER

Project Designer, Project Manager

EDUCATION

- Master of Architecture Technical, University of Massachusetts
- Vordiplom, University of Berlin, Germany; foreign study at University of Liverpool, UK
- Foreign Study in Europe – Berlin, Germany

PROFESSIONAL EXPERIENCE

2021 - Present	Clark Green + Bek (formerly Clark & Green), Great Barrington, MA
2018 - 2021	Project Manager, agn architekten halle, Halle, Germany
2017 - 2018	Architect Intern, Metcalfe Associates Architecture, Northampton, MA
2014 - 2017	Project/Product Manager, Menck Windows, Chicopee, MA
2012 - 2014	Associate, Dietz & Company Architects, Springfield, MA
2012	Designer, ZERZA Architects, New York City
2008 - 2009	Drafter, Artist, University of Massachusetts Campus and Facilities Planning

COMMUNITY SERVICE

- Personal Care Attendant Volunteer, Kfar Tikvah, Quiriat Tivon, Israel, 2000-2001

DESIGN AWARDS, EXHIBITIONS

- Honorable Mention, Affordable Housing Design Competition, Salzburg, Austria, 2012 (with ZERZA Architects)
- 2D3D-2: Drawing in the Post-Digital Age, Woodbury University, Los Angeles, 2012
- MIRA LOOK: New Visions for Architecture, Holyoke, MA 2009



REPRESENTATIVE HISTORICAL BUILDING STUDIES & REHABILITATION PROJECTS

Tyringham Union Church Tyringham, MA – 2023 Massachusetts Register of Historic Places	Structural stabilization of front colonnade and overseeing of future improvements.
John James Memorial Hall Goshen, MA - 2023 National Register of Historic Places	Stone conservation, historic window rehabilitation, lower roof replacement and other improvements and repairs.
W.E.B. Du Bois Freedom Center Great Barrington, MA - 2023 National Register	Historic Structure Report and design for conversion of 1886 shingle-style Black church into cultural center/museum.
East Otis Schoolhouse East Otis, MA - 2022 Register- eligible	Stabilization and future renovation of one-room schoolhouse used for over a century.
James Weldon Johnson Writing Studio Great Barrington, MA -2022 National Register (pending)	Rehabilitation of small studio cabin in which Johnson wrote some of his greatest Harlem Renaissance works.
Herman Melville's Barn Pittsfield, MA – 2020 National Register	Renovations to 19 th century barn at Herman Melville's estate, "Arrowhead," where <i>Moby Dick</i> was written.
First Congregational Church Manse Great Barrington, MA - 2022 Massachusetts Register	Stone exterior rehabilitation of pastor's residence designed by noted Boston architects Peabody & Stearns.
Spectacle Pond Farm Sandisfield, MA – 2020 Massachusetts Register	Structural stabilization of unusual and relatively intact 18 th and 19 th century barn and abattoir.
St. Paul's Church Otis, MA – 2018	Stabilization design for 1828 church in small New England village setting.
Superintendent's House Beartown Mountain State Forest Monterey, MA - 2018 Massachusetts Register	Structural stabilization and preservation of original 19 th century dwelling with early 20 th century modifications
The Bidwell House Museum Monterey, MA – 2015-17 National Register	Historic Structure Report, structural stabilization, reroofing design and barrier removal project.

Abbreviated Qualifications

John M Wathne, PE

President, Principal Structural Engineer

EDUCATION

BS, Civil Engineering

Lehigh University,
Bethlehem, PA

REGISTRATIONS

Connecticut
Maine
Massachusetts
New Hampshire
Rhode Island
Alabama
New York

AFFILIATIONS

American Society of Testing
and Materials, Committee
C12.03.3, Chair
International Concrete
Repair Institute, Committee
410 Co-Chair
Association for Preservation
Technology
Preservation Massachusetts
Boston Preservation Alliance
Historic Salem Inc, 55 year
old arch. pres. society,
President '95-'97
Marblehead Arts
Association- Juried Artist
Member

PROFILE

Mr. Wathne has a wide range of structural analysis and design experience related to historic building restoration and renovation, and considerable bridge experience. He has over 30 years of experience in nearly all types of existing structures with an emphasis on construction built before or during the nineteenth century. He has hands-on experience with masonry restoration and post and beam timber framing and significant inspection, analysis, and design experience with concrete, terra-cotta, brick, stone, timber, and iron and early low carbon steel structures in archaic as well as modern-day applications. He is experienced in the restoration and repair of totally preserved structures as well as the adaptive re-use of partially preserved and abandoned structures. He also conducts construction administration on many of the firm's projects, involving frequent site meetings, submittal review and responses to contractor RFIs

Mr. Wathne also has rare training and frequent practical experience in macroscopic and microscopic identification of wood species as well as timber investigation to identify defects and causes of biological attack, using visual inspection, microscopy and resistance-drilling.

He was also a pioneer in the development of thermal pre-stressing for the reinforcement of existing steel structures under load (Modern Steel Construction, Feb. 1996), and has completed and presented research on the subject of historical physical property test data for Natural Cement (April 1, 2005, Rosendale, NY) at the first North American Natural Cement Conference.

Mr. Wathne is an expert in the evaluation of historic masonry and the design and specification of mortars for historic structures. He is the chair of American Society of Testing and Materials (ASTM) Task Group C12.03.03 that has recently completed development of ASTM's new "Standard Specification for Mortars for Existing Masonry", ASTM C1713, now published in 30 countries.

Mr. Wathne is also the co-chair of the Masonry Committee (410) of the International Concrete Repair Institute.

He is also the inventor and patent holder of the "Port Anchor", an integrated Tying and Grout Injection system that restores composite action to debonded mass masonry construction and the founder and owner of VoidSpan Technologies, LLC.

SAMPLE PROJECTS

Fort Sumter NHS, Charleston, SC

Structural Evaluation of historic brick and stone masonry fortress that was the site of the first shot of the American Civil War. Made recommendations for stabilization of structural vault, pier and wall construction and general recommendations compatible restoration materials based upon new ASTM specification.

Granary Burying Ground, Kings Chapel Burying Ground, Boston

Evaluation and restoration of historic grave markers and tombs, and reconstruction of collapsed subsurface brick burial vaults using suspended shields (to protect remains) and historically compatible masonry materials and techniques.

Independence Hall, Philadelphia, PA

Restructuring of the four glazed clock faces to include an innovative torsional ring wind stiffening system with no shadow lines, along with other masonry and timber cornice repairs.

Louisa May Alcott's Orchard House, Concord, MA

Structural repairs to historic museum and former Alcott residence funded by Save America's Treasures. Project included extensive timber repairs, chimney and foundation wall underpinning, and suspension of entire rear half of house during construction of new foundation while it remained open as museum.

Worcester Clock Tower, Worcester, MA

Investigation and documentation of condemned Kirkbride era state hospital building with prominent clock tower element, managed dismantling and demolition of the structure, then reconstruction of 140 foot tower element using a mix of salvaged and supplemental materials as a free standing structure. New structure has a tubular, seismically resistant reinforced concrete core with a suspended brick and salvaged stone veneer of 8" to 20" thickness.

Modern Theater, Boston, MA

Ph1- Inspection, evaluation, monitoring and emergency structural stabilization of Boston's first movie-house following 20-year abandonment and extensive damage to structural framing and exterior masonry.

Ph2- Dismantling and reassembly of historic stone façade on front of new multi-story dormitory and theater as part of Suffolk University. Reassembled 20"-thick stone façade incorporates hidden supports, braces and relief joints that will allow it to deform by up to 2" in any direction as part of overall building movements during an earthquake with no significant damage.

Staple Bend Tunnel / Allegheny Portage Railway NHS, Mineral Point, PA

Project included abutment repairs and restoration of 20" thick sandstone liner of first railway tunnel in the Americas. Traditional pointing and project-specific deep jetting and grouting techniques (developed by our office) were used in a phased manner.

Abbreviated Qualifications

Jillian S. Borghardt, EIT

Structural Engineering Preservation Designer

EDUCATION

MSc: Structural Analysis of Monuments and Historical Constructions

University of Minho,
Guimaraes, Portugal

BE, Civil Engineering

Stony Brook University,
Stony Brook, NY

AFFILIATIONS

Association for Preservation
Technology

Boston Preservation Alliance

SAMPLE PROJECTS

PROFILE

Ms. Borghardt has focused her education and career on the restoration of historic structures through the art of structural preservation engineering. She earned her Master's degree at the University of Minho, in Portugal where she cultivated her passion for preservation. Her Master's thesis focused on the cross-sectional analysis of the ancient masonry columns of the Carmo Convent in Lisbon. Her investigations required specialized use of NDTs including GPR, as well as ultrasonic and sonic tomography.

Upon the completion of her degree, she joined Structures North and has been working on a variety of interesting projects throughout the New England region, including historic homes and house museums, places of worship, institutions, crypts, event spaces, abandoned mills and university buildings. Her unique educational experience is serving her well with the diversity of historic and modern materials and construction types with which she is presently involved in on a daily basis.

The Wright Tavern, Concord, MA

Structural evaluation and analysis of the historic 1747 wood framed tavern and its brick masonry foundations walls. Developed and designed reinforcing details to satisfy the increased live load of the first and second floor for the adaptive reuse of the Minutemen's meeting house, while maintaining its historic feel and appearance for future museum use.

Oakes Ames Truss Repair, Easton, MA

Emergency stabilization of rotted truss end of the H.H. Richardson memorial hall. Conducted structural analysis of the truss system and repair design and performed resistance drilling of the affected member. Developed the construction drawings and reviewed the shop drawings for the repair design to be implemented.

Central Burial Grounds, Boston, MA

Performed emergency survey of collapsed tomb in the Boston Common and developed immediate design repair methods of the 1756 brick arch vault system. Conducted overall inspection of remaining tombs and produced summary report to preemptively repair surrounding tombs while respecting original construction.

Steven A. Mack, P.E.

President | Principal Engineer
Foresight Land Services, Inc.

 Pittsfield, MA |  smack@foresightland.com | 413-499-1560

Professional Summary

Accomplished and results-driven **Professional Engineer** with over **30 years of experience** in civil engineering, project management, and municipal infrastructure design. Proven leadership as **Principal Engineer and President** of Foresight Land Services, overseeing multidisciplinary teams in engineering and surveying. Demonstrated expertise in planning, permitting, design, and administration for residential, commercial, and municipal projects. Recognized for fostering collaborative relationships with architects, contractors, and public officials to deliver complex projects on time and within budget.

Professional Experience

Foresight Land Services, Inc. — *Pittsfield, Massachusetts*

President | Principal Engineer
1994 – Present

- Provides executive leadership and strategic direction for all **engineering and surveying operations**.
- Manages and coordinates a diverse range of civil engineering projects, including **residential site design, commercial development, and municipal infrastructure**.
- Serves as the firm's principal engineering representative, collaborating with multidisciplinary design teams comprising architects, landscape architects, and various engineering disciplines.
- Leads public presentations and permitting processes before **local and state regulatory authorities**.
- Directs project design and management for complex municipal works involving **roadways, bridges, water and sewer systems, dams, drainage, and slope retention**.
- Oversees **construction administration, layout, and quality control** throughout project lifecycles.
- Builds and maintains relationships with city and town officials to modernize community infrastructure.

Select clients/projects include Blantyre Resort, Canyon Ranch, Miraval/Cranwell Resort & Golf Club, Tanglewood/Boston Symphony Orchestra, Elm Court Estate, Towns of Lee, Lenox, Great Barrington, Sheffield, Stockbridge and others, Kimball Farms, Miss Hall's School, Berkshire School, Edith Wharton Restoration, Stockbridge and Wyantenuck Golf Courses

Town of Lee – Department of Public Works, Engineering Division

Civil Engineer Before 1994

- Developed a comprehensive **town-wide water distribution mapping system and database.**
 - Supported public works design and maintenance activities focused on water and sewer infrastructure.
-

Education

- **Master of Science, *Rensselaer Polytechnic Institute*, 2004**
 - **Bachelor of Science in Civil Engineering, *Worcester Polytechnic Institute*, 1995**
 - Additional Continuing Education in Civil and Environmental Engineering
-

Professional Licenses & Certifications

- **Registered Professional Engineer – Massachusetts and New York**
 - **Registered Title V Soils Evaluator – Massachusetts**
-

Professional Affiliations

- **American Society of Civil Engineers (ASCE)**
 - **Boston Society of Civil Engineers**
 - **United States Green Building Council (USGBC)**
 - **American Water Works Association (AWWA)**
-

Civic Involvement

- Member **West Stockbridge Affordable Housing Trust**
- Past **Conservation Commission Member and Chair**
- Past **Berkshire Youth Hockey Coach and Board of Directors**
- Past **Youth Soccer and Baseball Coach**

Conceptual Renderings



Conceptual rendering by Clark, Green + Bek ©2024

DU BOIS FREEDOM CENTER



Conceptual rendering by Clark, Green + Bek ©2024

DU BOIS FREEDOM CENTER

Recently completed work 2024-2025 (Phase IB Structure)



Completed roof with cedar wood shingles and rebuilt chimney



Interior roof and truss stabilization, new structural beam





Belfry rebuild, new clapboards and wood shingled roof





Structural repair, replacement, and upgrades of sills, floors, and walls

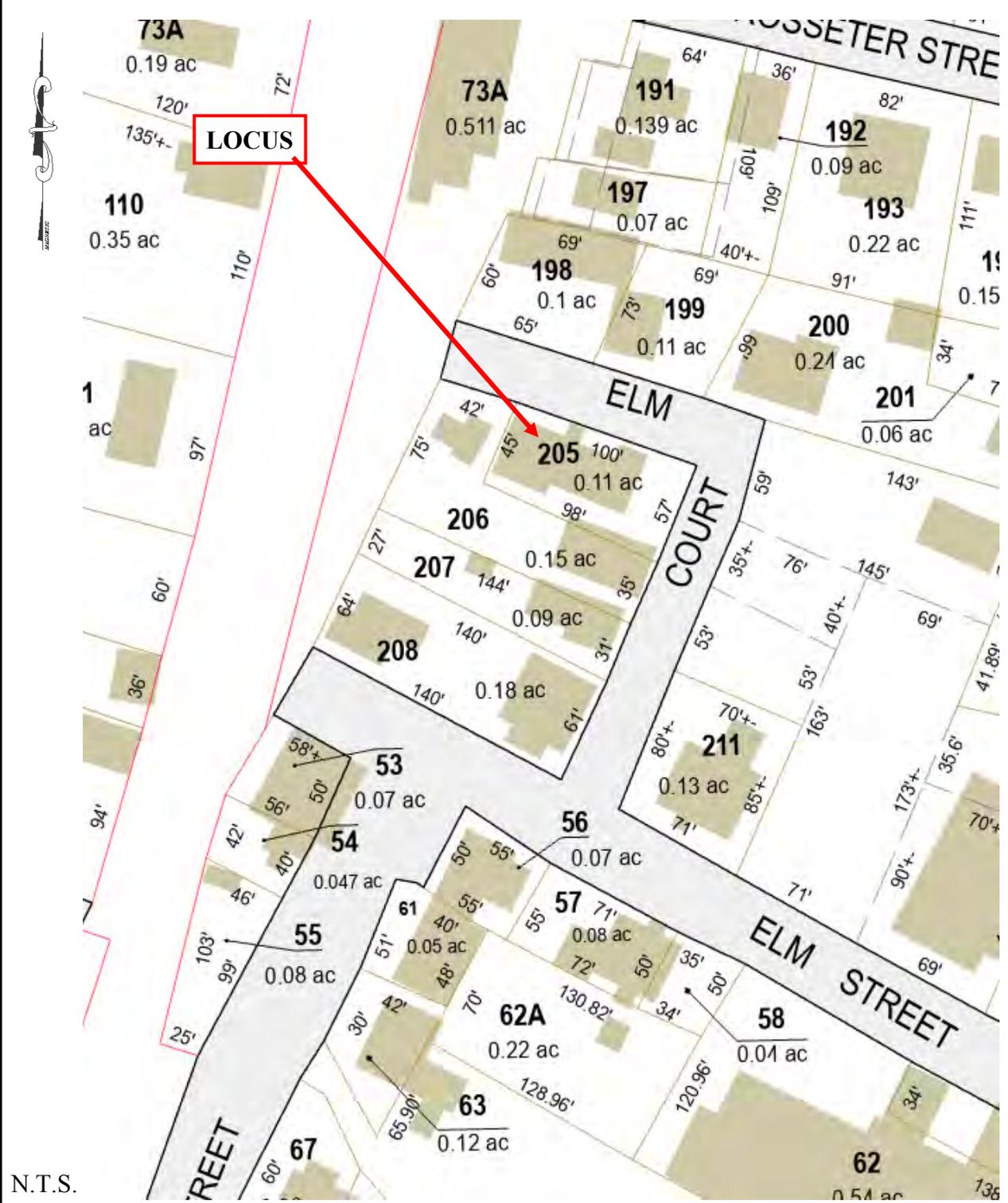




Exterior wall repair, clapboard replacement, new gutters



TOWN OF GREAT BARRINGTON ASSESSOR'S MAP



N.T.S.

FORESIGHT LAND SERVICES
ENGINEERING • SURVEYING • PLANNING
1496 West Housatonic Street
Pittsfield, MA 01201
FLS Project #E3085

Exhibit A-5
USGS Great Barrington QUAD, 1987 ed.
Source: AxisGIS
9 Elm Court
Great Barrington, MA

November 20, 2025

The Du Bois Freedom Center Phase 1B Basement Scope Description

Phase 1B Basement will focus on the installation of new footings and foundation walls for the former Clinton A.M.E. Zion Church.

The site preparation will include the excavation of existing site to the basement level on the north side of the property, as well as the construction of shoring walls, berms, and ramps for machinery. The existing wood framed structure will be lifted to allow for the demolition of the existing field stone foundation. Previous construction phases focused on the stabilization of the building structure and preservation of the building envelope – which makes lifting the building at the sill level above the existing masonry foundation walls possible. The demolition will remove the existing sidewalk on the north side of the property, as well as all existing foundation walls and footings.

New reinforced concrete footings and foundation walls under the existing building will be formed and poured. At the new addition, footings and all underground concrete work will be carried out. All openings will be temporarily closed. An exterior water barrier will be installed at footings and foundation walls. This will offer protection against standing ground water. These water barriers will be tied into the overall waterproofing design of underground and ground adjacent building components later.

At this stage footing drains will be installed. There will also be a temporary pumping system for potential rainwater or run-off mitigation from inside the building footprint. The building will be lowered onto and connected to the new foundation walls. All support structures from the lifting operation will be removed. Temporary columns and a temporary sump pump will be installed to ensure the structure's safety in the interim period before Phase II construction.

The site's space limitations and the proximity to the neighbor's property lines on the south and west create challenges both for construction site logistics and the building lifting operation. Because of these constraints, the cribbing to support the south and west walls will be placed below the building, preventing the pouring of the new ground floor slab during this phase. The upside of this circumstance is that the water situation at and under the building can be observed in the interim and the architectural and civil design can react to these findings before finalizing the Phase II plans.

Du Bois Freedom Center Project Timeline								
Phase IB Basement								
<i>Planned for 2026-2027</i>	Month 1-3	Month 4-5	Month 6-9	Month 10-12	Month 13-15	Month 16-18	Month 19-21	Month 22-24
A/E Design and Approvals								
Construction drawings								
Agency review (SHPO)								
Bid Package + Specs								
Solicit Bids / Contract Award								
Bidding period								
Contractor qualifications approval								
Award and contract negotiation								
Submittals / Approvals / Permits								
Building permit								
Preconstruction (subs lift plan + review)								
Construction and Closeout								
Mobilization								
Pre-lift, lift, foundation, drainage								
Lift building (incl cribbing, steel needling)								
Post-lift and site work								
Close out								
<i>Submitted to CPA grant 12/3/25</i>								

Du Bois Freedom Center Project Budget Estimate

Phase IB Basement

Planned for 2026-2027

Project Costs

Direct Costs*

Temporary Support and Protection	15,000	
Building Raise Allowance	400,000	
Selective Demo	81,500	
Cast-in-place Concrete	149,650	
Masonry, Metals, Woods	32,000	
Thermal + Moisture Protection	23,760	
Plumbing, HVAC, Electrical Disconnects	7,000	
Sitework	113,675	
	<i>Subtotal hard costs</i>	822,585

General Conditions, OH/Profit 25%	205,646	
Estimating/Construction Contingency 20%	205,646	
Escalation 2.5 years @ 5%	154,235	
	<i>Subtotal GC, OH/P, contingency, escalation</i>	565,527

Soft Costs

Architectural and Engineering Fees	135,580	
Other Consultants (e.g., plaster, archaeology monitoring)	10,000	
Project Management	35,000	
	<i>Subtotal soft costs</i>	180,580

Add'l Costs

Indirect	25,000	
Legal and Builder's Risk insurance (~3%)	45,000	
	<i>Subtotal add'l</i>	70,000

Total Expenses **\$1,638,692**

**Based on professional cost estimate Mar '24 (escalation to mid-point of construction)*

Funding Sources

Town of GB CPA Grant	this request	250,000
Mass Office of Travel & Tourism DDC Grant	secured	155,000
Nat'l Trust AACH Action Fund Grant	pending	250,000
Mass Cultural Facilities Fund Grant	pending	200,000
Private Foundation Grant	pending	250,000
Add'l Federal, State, Foundation Grants	planned	450,000
Individual donations	planned	83,692

Total Funding Sources **\$1,638,692**

Submitted to CPA grant 12/3/25



SENATOR PAUL W. MARK
*Berkshire, Hampden, Franklin
and Hampshire District*

The Commonwealth of Massachusetts
MASSACHUSETTS SENATE

STATE HOUSE
BOSTON, MA 02133-1053
TEL. (617) 722-1625
FAX. (617) 722-1523
PAUL.MARK@MASENATE.GOV
WWW.MASENATE.GOV

November 12, 2025

Ms. Karen Smith
Chair, Community Preservation Commission
Town of Great Barrington
334 Main Street
Great Barrington, MA 01230

Dear Ms. Smith:

As State Senator for the Berkshire, Hampden, Franklin, and Hampshire District, I am pleased to offer my strong support for the Du Bois Freedom Center's application for a \$250,000 Community Preservation Act grant from the Town of Great Barrington. Restoration of the historic Clinton A.M.E. Zion Church for adaptive reuse as an African American cultural heritage center is a unique and important project that will enrich the region's cultural landscape and contribute to its economic vitality.

The requested funds will be used for the project's next phase of restoration work, which involves raising the building 24" and pouring a new waterproof foundation that will allow for a usable, code-compliant basement — a major step in ensuring the long-term viability of this historic structure. The Center was recently awarded a MOTT Destination Development Capital Grant, which will also support this work.

Once completed, the Center will present interpretive exhibits that educate the public about the life and legacy of Great Barrington native, W.E.B. Du Bois, and the rich African American history of the Berkshires. Educational programming, cultural events, and other gatherings will return this important National Register property to the center of community life, serving as a hub of activity for students, residents, and tourists alike.

As part of the Downtown Great Barrington Cultural District and a site on the Upper Housatonic Valley African American Heritage Trail, this new destination will connect

visitors to a broader network of historic and educational experiences in Great Barrington. Guests will be encouraged to visit the nearby Mason Library, home to a recently installed sculpture of Du Bois, as well as Town Hall, where Elizabeth Freeman made her pivotal contribution to American history.

The Du Bois Freedom Center's plans align closely with the Commonwealth's goals of supporting rural tourism, cultural preservation, and economic development, while also meeting climate resilience standards.

I am confident that this project will make a lasting contribution to Great Barrington and the Berkshires, and I urge your full support for this important and timely initiative.

Sincerely,

A handwritten signature in blue ink, appearing to read "Paul W. Mark". The signature is fluid and cursive, with the first name "Paul" and last name "Mark" clearly distinguishable.

Paul W. Mark, *State Senator*
Berkshire, Hampden, Franklin & Hampshire District



The Commonwealth of Massachusetts

HOUSE OF REPRESENTATIVES
STATE HOUSE, BOSTON 02133-1054

LEIGH DAVIS
STATE REPRESENTATIVE
3rd BERKSHIRE DISTRICT

STATE HOUSE, ROOM 134
TEL: (617) 722-2400
Leigh.Davis@mahouse.gov

November 21, 2025

Ms. Karen Smith, Chair
Community Preservation Commission
Town of Great Barrington
334 Main Street
Great Barrington, MA 01230

Dear Ms. Smith,

I am pleased to offer my strong support of the Du Bois Freedom Center's application for a CPA grant from the Town of Great Barrington. As the Massachusetts State Representative for the 3rd Berkshire District, and a resident of Great Barrington, I understand the importance of this vital project to restore the historic Clinton A.M.E. Zion Church for adaptive reuse as an African American heritage site and cultural center dedicated to educating the public about the life and legacy of civil rights pioneer W.E.B. Du Bois and the Berkshires' rich African American history.

Its preservation is not only about saving a historic structure—it is about ensuring that the story of Black life in rural New England is visible and celebrated.

Built in 1887 by the A.M.E. Zion Society, the Clinton A.M.E. Zion Church served as the spiritual, cultural, and political heart of the local African American community for nearly 130 years. Long a beacon of activism, the church provided a rich variety of performances, guest speakers, and children's classes in music and public speaking. Long a focal point for social and political activism, the church hosted meetings of the local NAACP chapter in the 1950s and '60s, as well community discussions on poverty and human rights.

In my role at the State House, I work closely with the Massachusetts Black and Latino Legislative Caucus to advance equity and justice across the Commonwealth. The Clinton A.M.E. Zion Church, and this planned Center, represent exactly the kind of history and community impact that the Caucus and I champion: preserving places of African American resilience, telling fuller stories of our past, and investing in institutions that will inspire future generations. My lifelong commitment to civil rights and to commemorating our leaders is deeply influenced by my father, Lloyd Davis, who was a leader in the establishment of Martin Luther King Jr. Day in the United States. This project embodies that same dedication to honoring the legacies of our civil rights leaders and ensuring their lessons endure.

The vision for the Du Bois Freedom Center aligns powerfully with Massachusetts' values of education, equity, and cultural vitality. Once restored, the Center will provide exhibit and program space that connects residents, students, and visitors to African American history, while

also strengthening the local economy through heritage tourism. As part of Great Barrington's Cultural District and the Upper Housatonic Valley African American Heritage Trail, this project will significantly enhance our region's cultural infrastructure.

The Du Bois Freedom Center's work to rehabilitate and transform this National Register site is essential to advancing the cause of preservation and justice in the Commonwealth, and I strongly urge you to fully fund their grant request.

Thank you for your consideration of this important project.

Sincerely,

A handwritten signature in black ink, appearing to read "Leigh Davis". The signature is fluid and cursive, with a long horizontal stroke at the end.

Leigh Davis, State Representative
3rd Berkshire District



Ms. Karen Smith
Chair, Community Preservation Committee
Town of Great Barrington
334 Main Street
Great Barrington, MA 01230

November 17, 2025

Dear Ms. Smith,

As SVP of 1Berkshire, the Regional Economic Development Organization and Regional Tourism Council for the Berkshires, I offer our strong support for the Du Bois Freedom Center’s application for a Community Preservation Act grant from the Town of Great Barrington.

This transformational project to restore the historic 1887 Clinton A.M.E. Zion Church for adaptive reuse as an African American cultural heritage center is a great opportunity for the region. Once open, the Center will feature interpretive exhibits and programming, and serve as a gathering space for the broader community. In addition to educating the public about the life of civil rights pioneer W.E.B. Du Bois, who was born and raised in Great Barrington, the Center will illuminate the Berkshires’ rich Black history and serve as hub for the Upper Housatonic Valley African American Heritage Trail.

The Center brings a nationally significant cultural attraction to the core of Great Barrington’s Designated Cultural District. While home to a number of esteemed cultural institutions, there is currently no museum in Great Barrington. This project will fill that gap, drawing visitors into the walkable center of town, where they can explore other heritage sites, including the Mason Library (home to a new sculpture of Du Bois) and Town Hall, which commemorates Elizabeth Freeman’s 1781 lawsuit that helped end slavery in Massachusetts.

The initiative promises to expand the reach and diversity of our existing tourism base, drawing younger and more diverse audiences from near and far, and enhance cultural equity in Berkshire tourism offerings.

Expanding the visitor base is not only a cultural imperative—it is an economic necessity. According to the Massachusetts Office of Travel and Tourism, Berkshire County welcomes over 2.6 million visitors annually, generating more than \$600 million in direct spending. Tourism supports over 5,000 jobs in the county. As the region continues to rebound from the economic impacts of COVID-19, attracting broader and more inclusive audiences will be critical to ensuring a resilient and sustainable visitor economy.

1Berkshire strongly supports this visionary project, which aligns with regional tourism priorities and the Commonwealth’s goals for economic development, rural revitalization, and inclusive cultural investment. The museum will enhance the downtown and support the theater and music venues within the district by offering a full lineup of educational, historic, and artistic events for tourists. We urge your full consideration and support for this meaningful endeavor.

Sincerely,

Lindsey Schmid
Sr. VP of Marketing & Tourism/ RTC Director
1Berkshire Strategic Alliance, Inc.

Made possible by our 1Berkshire Leadership Circle Investors



Great Barrington Historical Commission

c/o Selectmen's Office

Town Hall

334 Main Street

Great Barrington, MA 01230

Malcom Fick, Chairman • 413-645-3060 • Malcolm.fick@gmail.com

November 13, 2025

Ms. Karen Smith, Chair
Community Preservation Committee
Town of Great Barrington
334 Main Street Great Barrington, MA 01230

RE: Community Preservation Funds for Du Bois Freedom Center Restoration Project

Dear Chairperson Smith and Members of the Community Preservation Committee:

The Great Barrington Historical Commission strongly endorses the Du Bois Freedom Center's application for Community Preservation Act support of its restoration work on the former Clinton A.M.E. Zion Church (1887, National Register of Historic Places). The project goals are to raise the building 24" and pour a new waterproof foundation to address longstanding water infiltration problems to further preserve this historic structure.

Indeed, the Du Bois Freedom Center's timely and sensitive intervention has arrested the destructive forces of nature, man and time that had combined to ravage this landmark. The church building and connected parsonage had suffered from deferred maintenance, poor drainage, severe mold, leaking roofs and water infiltration, the New England freeze-thaw cycle and the rotting of building parts. Over the course of their stewardship the Du Bois Freedom Center has made significant progress in stabilizing the structure using funds from Town, State and private sources.

The Du Bois Freedom Center's program to adaptively use this prominent National Register property as a visitor and community center to celebrate our rich African American heritage, particularly the contributions of W.E.B. Du Bois, has emerged from a carefully considered and prudent textbook-like process, marked by detailed planning, strong community involvement and consultation with authorities in the fields of interpretive and program planning, architecture and engineering. Indeed, their hard work in developing a clear vision and project goals and laying out a phased course to bring them to fruition will result in the preservation of a local landmark that will enrich the cultural landscape and contribute to the economic vitality of Great Barrington.

The building is the embodiment of our town's African American history and culture and association with W.E.B. Du Bois and its preservation will not only save a significant legacy of this community but a piece of architecture that is a key component of our rich catalogue of

historic buildings. Clinton Church transformed Du Bois' understanding of the power and possibilities inherent in the Black church. The church and its community showed him the vitality that was possible there and not evident on the other side of the color line.

Funds from the Community Preservation Committee will continue to be transformational in furthering the goal of creating a true and living monument to Du Bois. The Great Barrington Historical Commission registers its enthusiastic support of this application.

Sincerely,

A handwritten signature in black ink, appearing to read "Malcolm Fick". The signature is fluid and cursive, with a prominent initial "M" and a long, sweeping underline.

Malcolm Fick
Chairman
Town of Great Barrington Historical Commission



CLARK GREEN + BEK
ARCHITECTURE DESIGN
BERKSHIRES STUDIO
 309 MAIN STREET
 GREAT BARRINGTON, MA 01230
 PHONE + 413 528 5180

NEW YORK STUDIO
 115 WEST 29TH STREET, #1105
 NEW YORK, NY 10001
 PHONE + 212 219 9909

CONSULTANTS

DU BOIS FREEDOM CENTER PHASE 1B - BASEMENT ABBREVIATED CONSTRUCTION SCOPE PACKAGE 9 ELM COURT GREAT BARRINGTON, MA

GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ON SITE ALL CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS NOTED PRIOR TO PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS - DIMENSIONS GOVERN. NOTIFY THE ARCHITECT OF ANY MISSING OR CONFLICTING DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK.
- DIMENSIONS FOR THIS SET OF DRAWINGS ARE SHOWN TO FACE OF CONCRETE AND FACE OF STUD, UNLESS NOTED OTHERWISE.
- REFER TO THE SPECIFICATIONS FOR REQUIRED SHOP DRAWINGS. CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS FOR REVIEW BY ARCHITECT.
- REFER TO THE SPECIFICATIONS FOR INFORMATION ON PROJECT GENERAL CONDITIONS, PERFORMANCE REQUIREMENTS, MATERIALS, ETC.
- OBSERVE STANDARD WORKING HOURS OF 7 AM TO 5 PM ON WEEKDAYS. ALL NOISE-GENERATING WORK SHALL BE CONDUCTED WITHIN THAT TIMEFRAME. WORK SHALL NOT BE PERFORMED ON WEEKENDS, NOR ON HOLIDAYS AS OBSERVED BY THE COMMONWEALTH OF MASSACHUSETTS.

BUILDING DEPARTMENT NOTES:

- WORK SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BYLAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE AUTHORITY OF ANY PORTIONS OF THE WORK IN THE CONTRACT DOCUMENTS THAT ARE AT VARIANCE WITH THE ABOVE.
- ALL MATERIALS, ASSEMBLIES, FORMS OF CONSTRUCTION, AND SERVICE EQUIPMENT REGULATED BY CODE SHALL MEET THE FOLLOWING REQUIREMENTS:
 - THEY SHALL HAVE BEEN FOR USE UNDER PRESCRIBED TEST METHODS BY THE BUILDING OFFICIAL, OR
 - SHALL BE LISTED AND LABELED BY A BUILDING OFFICIAL OR RECOGNIZED AGENCY TO MEET REQUIRED STANDARDS.
- MATERIALS OR ASSEMBLIES REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - THEY SHALL COMPLY WITH CHAPTER 7 OF IBC 2015 WITH MASSACHUSETTS AMENDMENTS.
 - THEY HAVE BEEN TESTED IN ACCORDANCE WITH FIRE EXPOSURE AND ACCEPTANCE CRITERIA OF ASTM E119 OR UL 263.
 - THEY SHALL HAVE BEEN ACCEPTED PRIOR TO THE EFFECTIVE DATE OF THE CODE.
- THE CONSTRUCTION CLASSIFICATION OF THE BUILDING IS "TYPE V-B" (TABLE 601). THE CONSTRUCTION ELEMENTS SHALL BE OF THE REQUIRED MINIMUM FIRE RESISTANCE RATINGS AS OUTLINED IN TABLE 601 AND DEFINED IN CHAPTER 6 OF IBC 2015.
- AN ACCURATE AND COMPLETE FINAL SURVEY BY A DULY LICENSED SURVEYOR SHALL BE FILED AS AN AMENDMENT BEFORE COMPLETION OF THE PROJECT.
- THE CONTRACTOR'S LICENSED PROFESSIONAL IS RESPONSIBLE FOR FILING APPLICATION AND OBTAINING PERMITS FOR SCAFFOLDING, SIDEWALK BRIDGING, ANY OTHER CONSTRUCTION EQUIPMENT OR PUBLIC PROTECTIVES REQUIRED TO ENSURE SAFETY OF OPERATION AND THE PUBLIC AS PER IBC 2015 CHAPTER 33, SECTION 3306. THE CONTRACTOR IS ALSO RESPONSIBLE FOR OBTAINING LETTER OF COMPLETION. APPLICATION FOR CONSTRUCTION PERMITS SHALL BE PROCESSED THROUGH THE TOWN OF GREAT BARRINGTON BUILDING DEPARTMENT.
- THE FOLLOWING SHALL BE MADE UNDER SEPARATE APPLICATION BY THE CONTRACTOR'S LICENSED PROFESSIONAL, IN ACCORDANCE WITH SECTION 28-104.2.6 OF TITLE 28:

PERMANENT ELEVATORS	PRIOR TO T. C. O.
TEMPORARY ELEVATORS	PRIOR TO PERMIT
MECHANICAL AND HAND DEMOLITION	
OPERATIONS PERMIT	PRIOR TO PERMIT
SIDEWALK SHEDS PERMIT	PRIOR TO PERMIT
CONSTRUCTION FENCES PERMIT	PRIOR TO PERMIT
CHUTES, SCAFFOLDS, HOISTS PERMIT	PRIOR TO PERMIT
- THE ITEMS LISTED IN NOTE 7 ABOVE UNDER SEPARATE APPLICATION, (i.e. DEFERRED TO BE FILED), SHALL NOT BE CONSTRUCTED PRIOR TO OBTAINING SUCH PERMIT.
- THESE DRAWINGS HAVE BEEN PREPARED BY OR AT THE DIRECTION OF THE UNDERSIGNED AND TO THE BEST OF UNDERSIGNED'S KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT ARE IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE AND MASSACHUSETTS REVISIONS.
- SITE SAFETY PLANS SHALL BE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE BUILDING OFFICIAL PRIOR TO APPLYING FOR CONSTRUCTION PERMITS.

ZONING INFORMATION:

LOT: 205
 LOT AREA: 4850 SF (ESTIMATED)
 LOT FRONTAGE: 54.5 FT (EAST)
 98.6 FT (NORTH)
 45.0 FT (WEST)
 98.1 FT (SOUTH)
 1886

YEAR BUILT: 1886
 NUMBER OF BUILDINGS: 1
 GROSS FLOOR AREA: 1 (PARSONAGE)
 RESIDENTIAL UNITS: COMMUNITY CENTER
 LAND USE: B2
 ZONING: VCOD
 ZONING MAP NUMBER: 14
 LANDMARK BUILDING: YES
 HISTORIC DISTRICT: NO
 MINIMUM LOT AREA: 5000 SF
 MINIMUM LOT WIDTH: 50 FT
 MINIMUM FRONT YARD: 25 FT

BUILDING CODE INFORMATION:

PRIMARY OCCUPANCY: A-3

BUILDING FLOOR AREA: BASEMENT TBD
 FIRST FLOOR 1622 SF
 SECOND FLOOR 488
 TOTAL 2110 SF

BUILDING HEIGHT: 25 FT + 10 FT BELFRY

TYPE OF CONSTRUCTION: VB
 ONE-HOUR PROTECTION: NO
 SPRINKLERED: YES

OCCUPANT LOAD: BASEMENT
 FIRST FLOOR
 SECOND FLOOR
 TOTAL

FIRE PROTECTION AND SOURCE OF RATED ASSEMBLY ELEMENT (UL, FM, ETC):
 PARTY / FIRE WALLS
 INTERIOR BEARING WALLS
 INTERIOR NON-BEARING PARTITIONS
 COLUMNS
 BEAMS, GIRDERS, TRUSSES, ARCHES
 FLOOR / CEILING CONSTRUCTION
 ROOF / CEILING CONSTRUCTION
 EXTERIOR NON-BEARING WALLS
 SHAFT ENCLOSURES

OTHER FIRE PROTECTION:
 MECHANICAL ROOM SEPARATION
 OTHER SPECIAL FIRE PROTECTION
 DRAFTSTOPPING REQUIRED
 FIRESTOPPING REQUIRED
 SMOKE BARRIER REQUIRED

PROJECT IN FIRE DISTRICT: NO
 PROJECT IN FLOOD PLAN: NO
 PROJECT IN WETLANDS AREA: NO

PROJECT DESCRIPTION:

THE CURRENT PROJECT (PHASE 1B BASEMENT) CONSISTS OF LIFTING THE WOOD-FRAMED PORTION OF THE HISTORIC CHURCH (PREVIOUSLY KNOWN AS THE CLINTON CHURCH) OFF ITS FOUNDATION, DEMOLITION OF THE EXISTING BASEMENT LEVEL, CONSTRUCTION OF A NEW FOUNDATION, AND RE-SETTING THE WOOD-FRAMED PORTION OF THE CHURCH ONTO THE NEW FOUNDATION. THE CHURCH WAS FORMERLY AFFILIATED WITH THE AFRICAN METHODIST EPISCOPAL FAITH, AND HAS STRONG HISTORIC TIES TO THE LOCAL AFRICAN-AMERICAN COMMUNITY. THE PROJECT, WHICH WILL EVENTUALLY BE DEVELOPED INTO A MUSEUM AND CULTURAL CENTER, IS NAMED IN HONOR OF AFRICAN-AMERICAN SCHOLAR, ACTIVIST, AND INTELLECTUAL W. E. B. DU BOIS, WHO WAS BORN IN AND GREW UP IN GREAT BARRINGTON. AMONG MANY OTHER ACCOMPLISHMENTS, HE WAS ONE OF THE FOUNDING MEMBERS OF THE NAACP.

WORK PREVIOUSLY COMPLETED UNDER PHASE 1B PART 1 CONSISTED OF BUILDING STABILIZATION MEASURES, AND THE ADDITION OF NEW CEDAR SINGLE ROOFING, WITH NEW COPPER GUTTERS AND DOWNSPOUTS.

PROJECT TEAM:

OWNER:
 The W.E.B. Du Bois Center for Freedom and Democracy, Inc.
 (1/4 Clinton Church Restoration, Inc.)
 P.O. Box 1075
 Great Barrington, MA 01230

PROJECT ARCHITECT: CLARK + GREEN AND BEK
 309 MAIN STREET
 GREAT BARRINGTON, MA 01230
 PHONE: (413) 528-5180
 WEB: clarkandgreen.com

PROJECT ARCHITECT: STEVE McALISTER
 PHONE: (413) 528) 5180 EXT 102
 EMAIL: steve@clarkandgreen.com

PROJECT MANAGER: TOBIAS BERNECKER
 PHONE: (413) 270-2406 (C)
 EMAIL: tbernecker@clarkandgreen.com

SURVEYOR / CIVIL ENGINEER: FORESIGHT LAND SERVICES, INC.
 1496 WEST HOUSATONIC STREET
 PITTSFIELD, MA 01201
 PHONE: (413) 449-1560
 FAX: (413) 449-3307
 WEB: foresightland.com

LANDSCAPE ARCHITECT: WALTER CUDNOHOFSKY ASSOCIATES, INC.
 455 BUG HILL ROAD
 ASHFIELD, MA 01330
 PHONE: (413) 628-4600
 FAX: (413) 628-0117
 WEB: wcalia.com

PROJECT MANAGER: CHUCK SCHNELL
 PHONE: (413) 923-1859
 EMAIL: cschnell@wcala.com

STRUCTURAL ENGINEER: STRUCTURES NORTH CONSULTING ENGINEERS INC.
 60 WASHINGTON STREET, SUITE 401
 SALEM, MA 01970-3517
 PHONE: (978) 745-6817
 FAX: (978) 745-6067
 WEB: structures-north.com

PROJECT ENGINEER: JOHN WATHNE
 PHONE: jwathne@structures-north.com
 EMAIL:

VICINITY MAP
NOT TO SCALE



JURISDICTION:

TOWN OF GREAT BARRINGTON, MASSACHUSETTS
 BUILDING DEPARTMENT / INSPECTIONAL SERVICES
 334 MAIN STREET
 GREAT BARRINGTON, MA 01230
 PHONE: (413) 528-1619 x 2600
 FAX: (413) 528-3206
 WEB: townofgb.org

BUILDING COMMISSIONER: MATTHEW KOLLMER
 PHONE: (413) 528-1619 X 2602

ELECTRICAL INSPECTOR: THEODORE PIONTEK
 PHONE: (413) 274-6605

PLUMBING INSPECTOR: ROBERT KRUPSKI
 PHONE: (413) 229-8019

GAS INSPECTOR: ROBERT GENNARI
 PHONE: (413) 274-0267

PLANNING DEPARTMENT
 334 MAIN STREET
 GREAT BARRINGTON, MA 01230

DIRECTOR OF PLANNING: CHRISTOPHER REMBOLD
 PHONE: (413) 528-1619 X 2400
 FAX: (413) 528-2290

HISTORICAL REVIEW:

TECHNICAL PRESERVATION SERVICES
 NATIONAL PARK SERVICE
 1849 C STREET, NW
 MAIL STOP 7243
 WASHINGTON, DC 20240

PHONE: (202) 513-7270
 WEB: nps.gov/orgs/1739/index.htm

LEAD REVIEWER, MA/NH/VT: TINA ROACH
 PHONE: (202) 354-2044

MASSACHUSETTS HISTORICAL COMMISSION
 220 MORRISSEY BOULEVARD
 BOSTON, MA 02125

PHONE: (617) 727-8470
 FAX: (617) 727-5128
 WEB: sec.state.ma.us/mhc/
 EMAIL: mhc@sec.state.ma.us

LIST OF DRAWINGS:

A-001	TITLE SHEET	C+G AND BEK TYP, UNO
A-002	CONSTRUCTION SITE LAYOUT	
C-0	COVER SHEET	FORESIGHT LAND SERVICES
C-1	EXISTING CONDITIONS & DEMOLITION PLAN	FORESIGHT LAND SERVICES
L-1	APPROVED SITE PLAN	WCALA
A-010	BASEMENT PLAN - EXISTING CONDITIONS	
A-011	FIRST FLOOR PLAN - EXISTING CONDITIONS	
A-012	SECOND FLOOR PLAN - EXISTING CONDITIONS	
A-014	ROOF PLAN - EXISTING CONDITIONS	
A-020	EXTERIOR ELEVATIONS - EXISTING CONDITIONS	
A-021	EXTERIOR ELEVATIONS - EXISTING CONDITIONS	
A-030	BUILDING SECTIONS - EXISTING CONDITIONS	
A-031	BUILDING SECTIONS - EXISTING CONDITIONS	
A-100	BASEMENT PLAN - DEMOLITION	
A-101	FOUNDATION PLAN	
A-200	EXTERIOR ELEVATIONS	
A-201	EXTERIOR ELEVATIONS	
A-202	EXTERIOR ELEVATIONS	
A-300	BUILDING SECTIONS	
A-301	BUILDING SECTIONS	
S-00	STRUCTURAL GENERAL NOTES	STRUCTURES NORTH
S-101	FOUNDATION PLAN	STRUCTURES NORTH
S-102	FIRST FLOOR FRAMING PLAN	STRUCTURES NORTH
S-201	SECTIONS AND DETAILS	STRUCTURES NORTH
TS-101	SUGGESTED SHORING PLAN	STRUCTURES NORTH

HISTORICAL REVIEW:

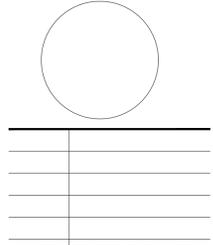
JURISDICTION REVIEW:

GENERAL NOTES

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PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

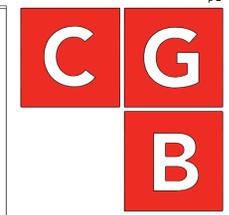
SHEET TITLE

TITLE SHEET

SHEET NUMBER

A-001.00

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 PHONE + 212 219 9909
 CONSULTANTS

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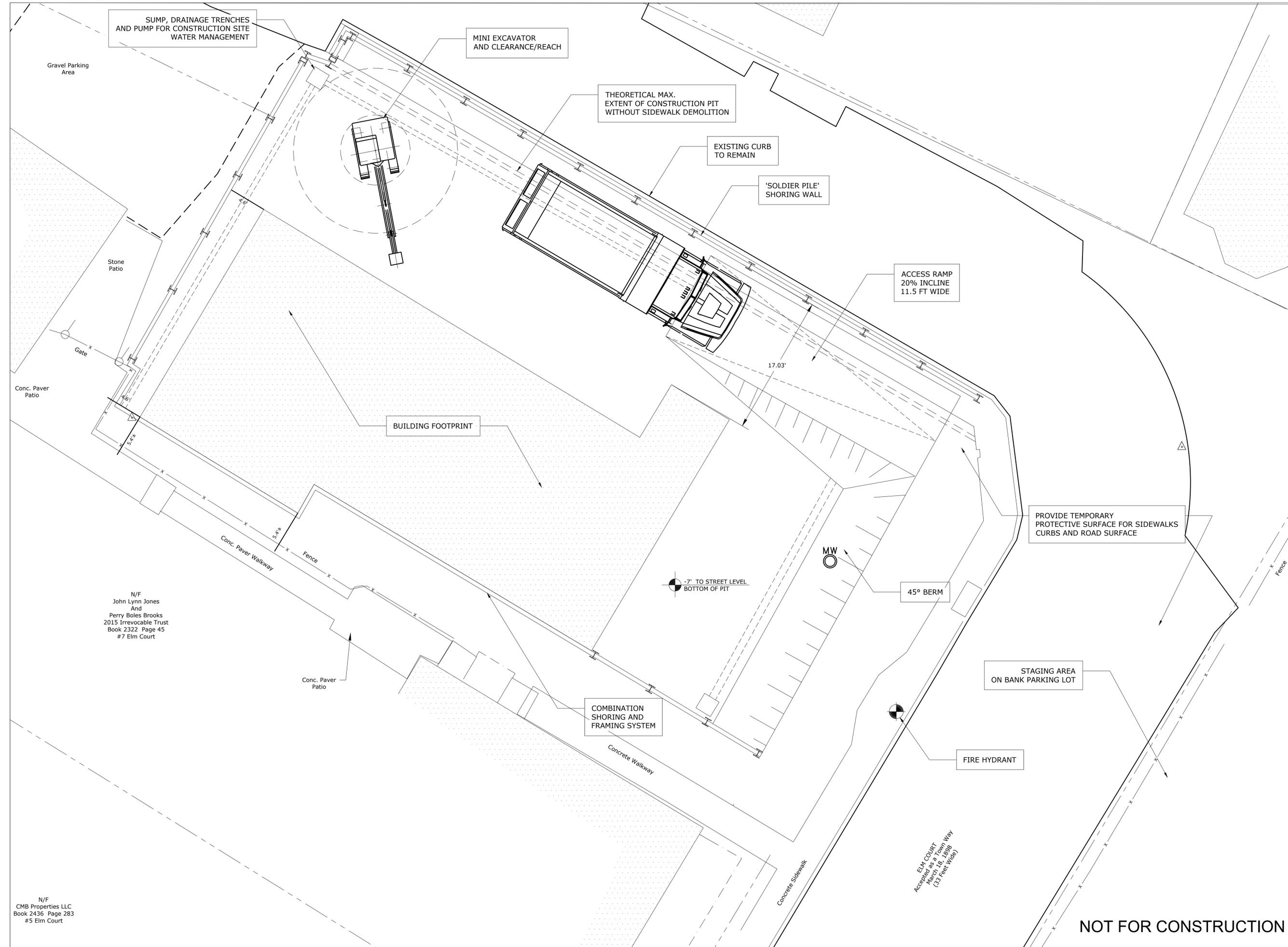
- TRUE NORTH
- PROJECT NORTH



11/26/25 SUBMITTAL SET
 PROJECT TITLE

**DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA**

SHEET TITLE
**CONSTRUCTION
 SITE
 LAYOUT**
 SHEET NUMBER
A-002.00



SUMP, DRAINAGE TRENCHES AND PUMP FOR CONSTRUCTION SITE WATER MANAGEMENT

MINI EXCAVATOR AND CLEARANCE/REACH

THEORETICAL MAX. EXTENT OF CONSTRUCTION PIT WITHOUT SIDEWALK DEMOLITION

EXISTING CURB TO REMAIN

'SOLDIER PILE' SHORING WALL

ACCESS RAMP 20% INCLINE 11.5 FT WIDE

BUILDING FOOTPRINT

PROVIDE TEMPORARY PROTECTIVE SURFACE FOR SIDEWALKS CURBS AND ROAD SURFACE

45° BERM

COMBINATION SHORING AND FRAMING SYSTEM

FIRE HYDRANT

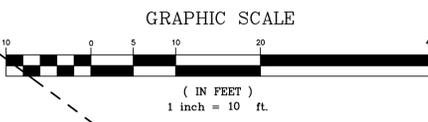
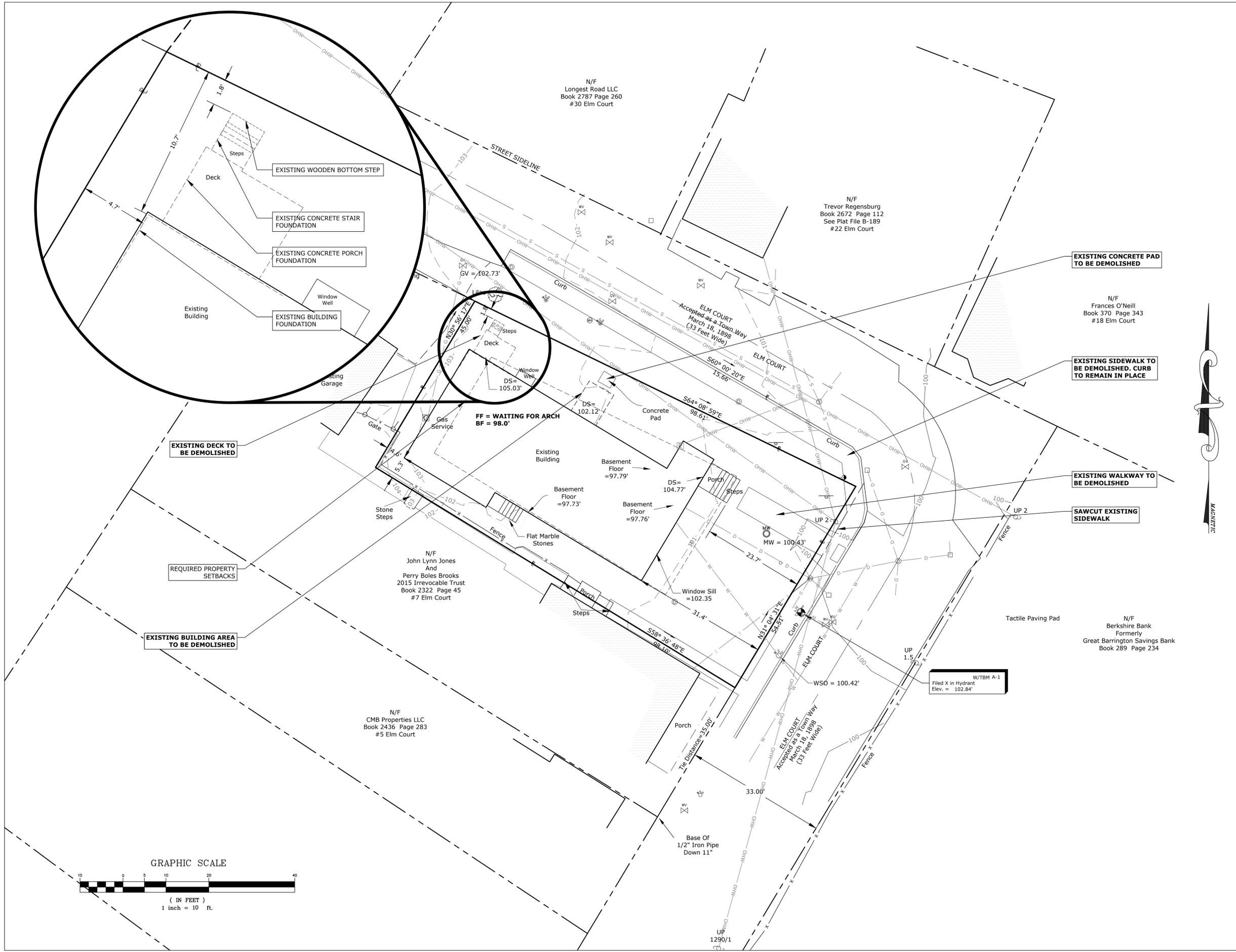
STAGING AREA ON BANK PARKING LOT

N/F John Lynn Jones And Perry Boles Brooks 2015 Irrevocable Trust Book 2322 Page 45 #7 Elm Court

N/F CMB Properties LLC Book 2436 Page 283 #5 Elm Court

ELM COURT Accepted as a Town Way March 15, 1898 (33 Feet Wide)

NOT FOR CONSTRUCTION



PRELIMINARY			
NO.	DATE	REVISION/ISSUE	BY
SHEET TITLE EXISTING CONDITIONS & DEMOLITION PLAN			
PROJECT TITLE The W.E.B. Du Bois Center for Freedom and Democracy (fka Clinton Church Restoration) ELM COURT, GREAT BARRINGTON, MA.			
PROJECT NO.	SCALE	DATE	DESIGNED BY
E3085	AS NOTED	5/1/2023	SAM
DRAWN BY	CHECKED BY	SHEET NO.	
SCT		C-1	
OF SHEETS 2 OF 2			
FORESIGHT LAND SERVICES ENGINEERING SURVEYING PLANNING FORESIGHT LAND SERVICES, INC. 1496 WEST HOUSATONIC STREET - PITTSFIELD, MA 01201 TEL: (413) 499-1260 FAX: (413) 499-3307 WWW.FORESIGHTLAND.COM			



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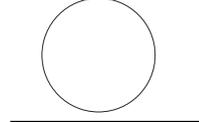
CONSULTANTS

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- TRUE NORTH
- PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

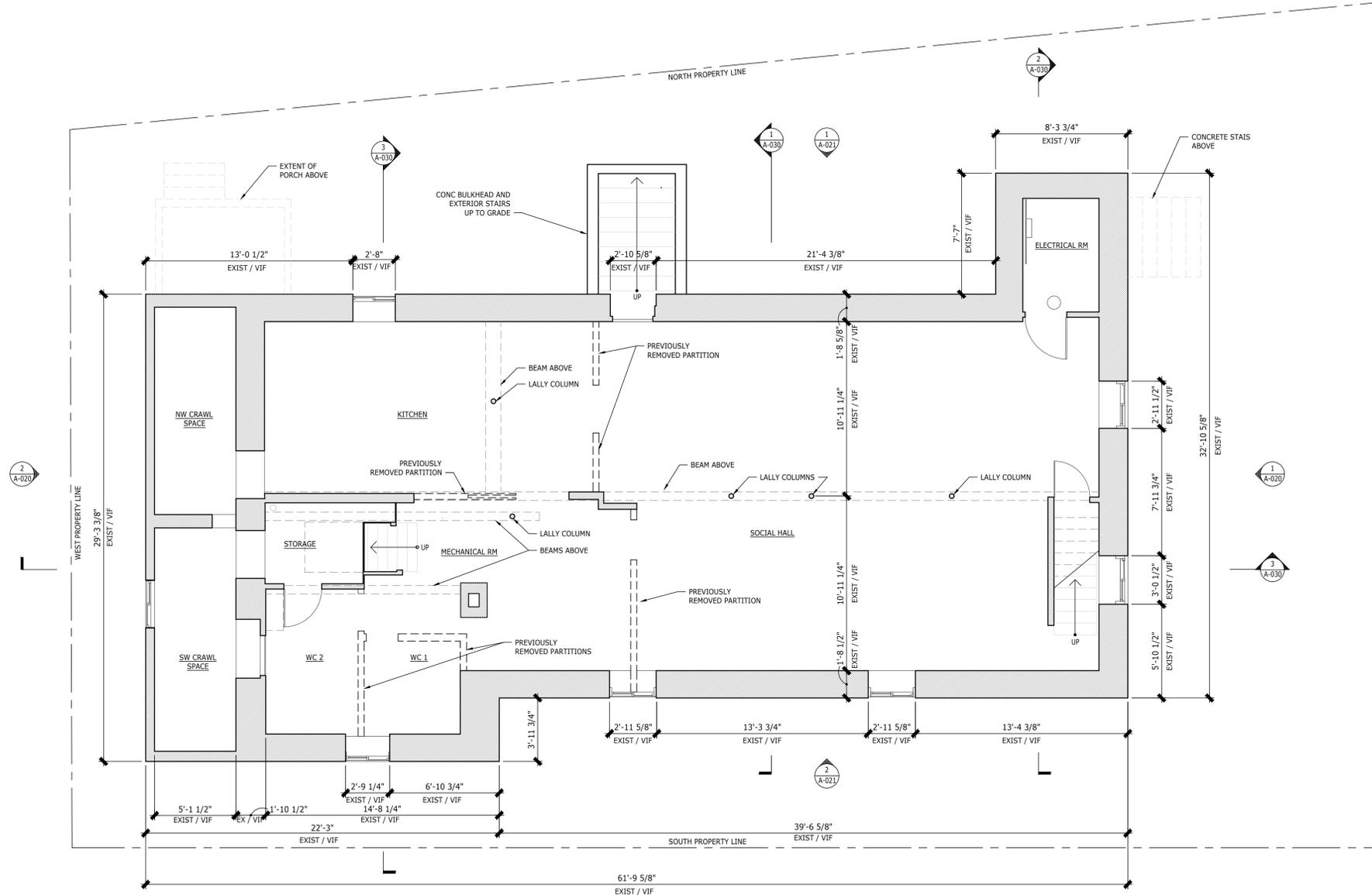
DU BOIS FREEDOM CENTER
PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE

BASEMENT PLAN - EXISTING CONDITIONS

SHEET NUMBER

A-010.00



01 BASEMENT PLAN - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



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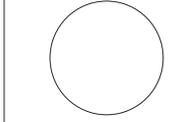
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- TRUE NORTH
- PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

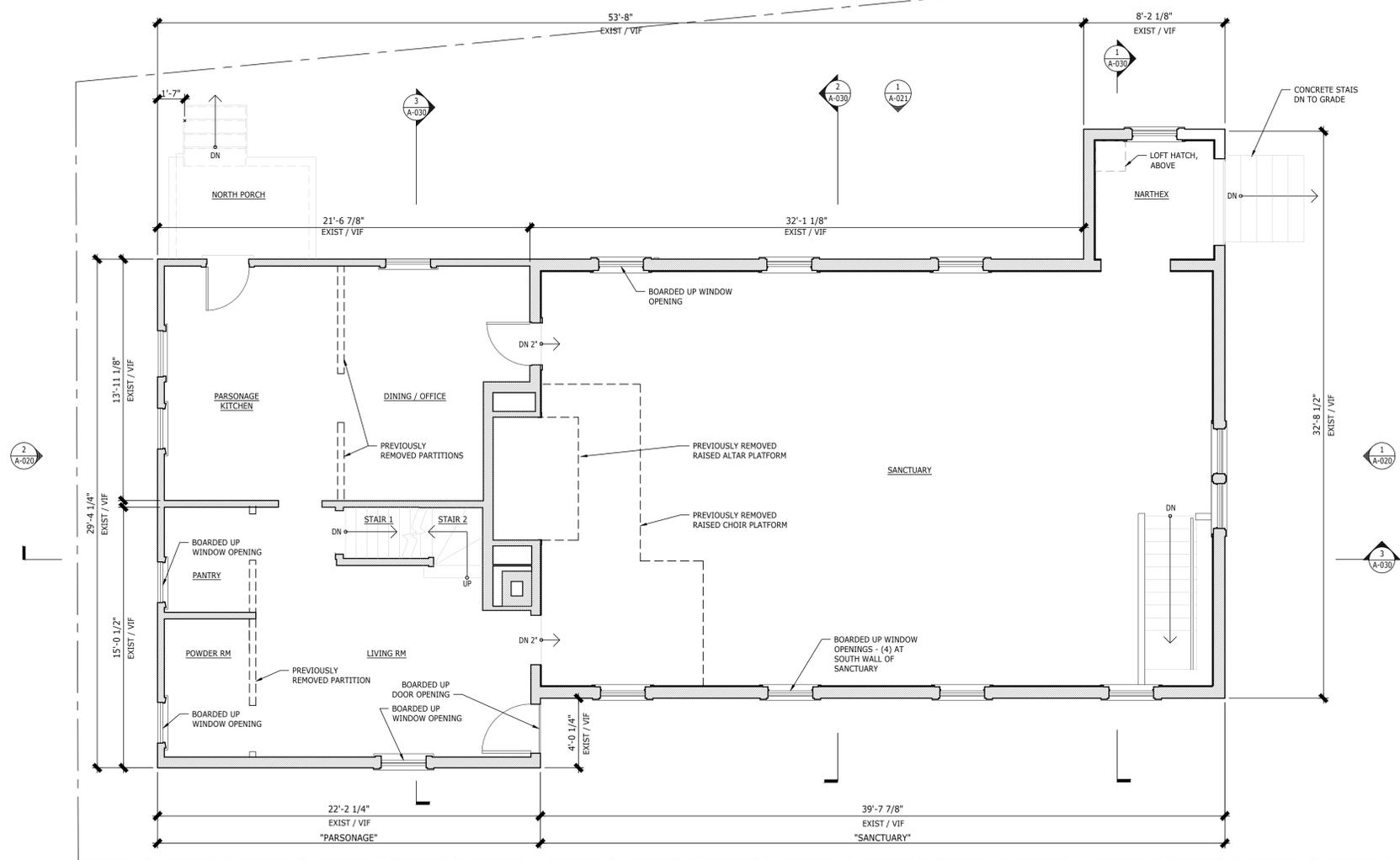
PROJECT TITLE

**DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA**

SHEET TITLE
**FIRST FLOOR PLAN -
 EXISTING
 CONDITIONS**

SHEET NUMBER

A-011.00



01 FIRST FLOOR PLAN - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



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 NEW YORK, NY 10001
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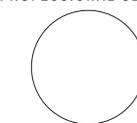
CONSULTANTS

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- TRUE NORTH
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PROFESSIONAL SEAL

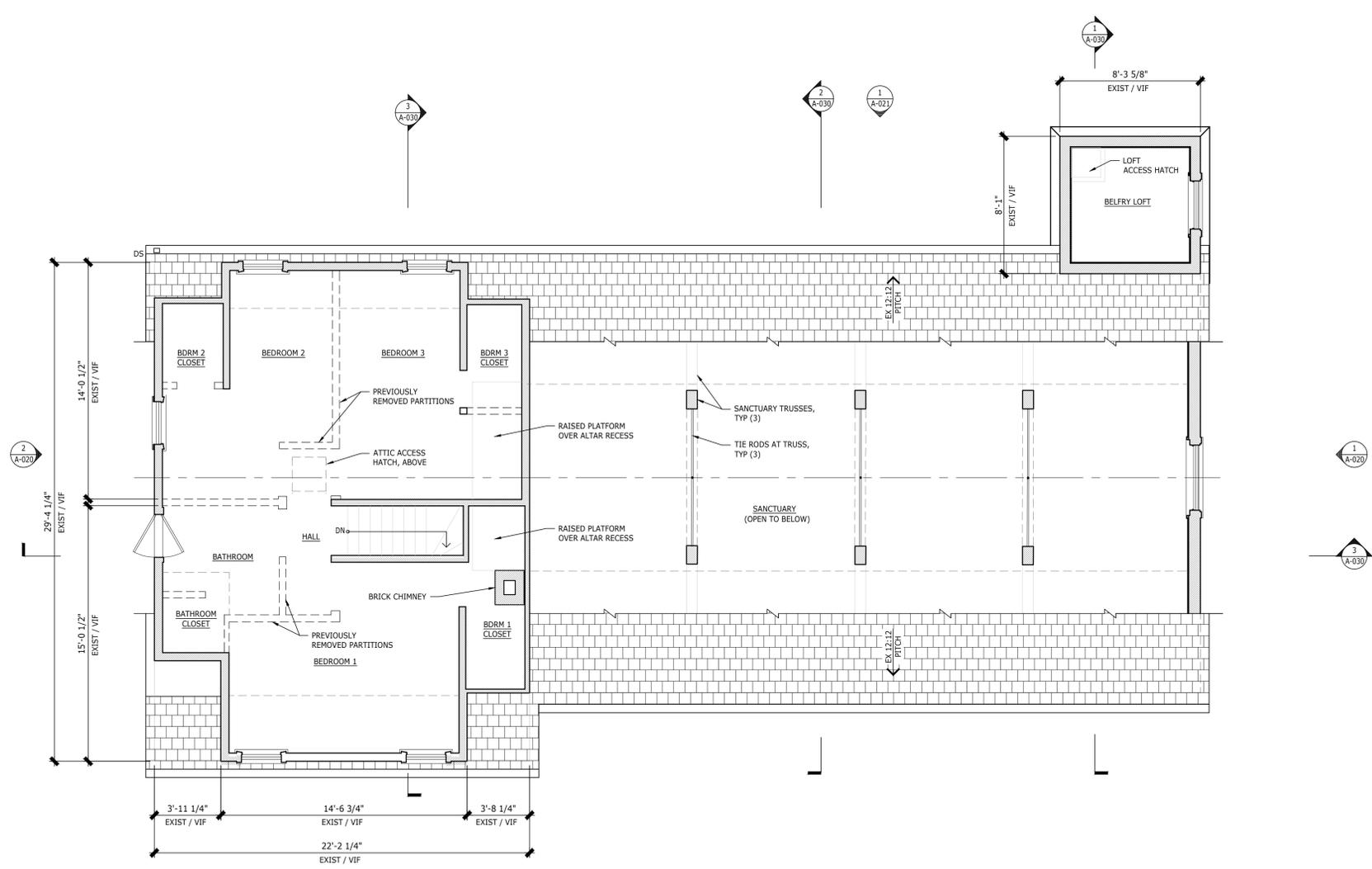


11/26/25 SCOPE SUBMITTAL
 PROJECT TITLE

DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE
 SECOND FLOOR PLAN -
 EXISTING
 CONDITIONS

SHEET NUMBER
A-012.00



01 SECOND FLOOR PLAN - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



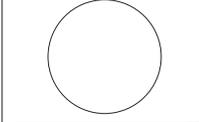
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- TRUE NORTH
- PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

**DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA**

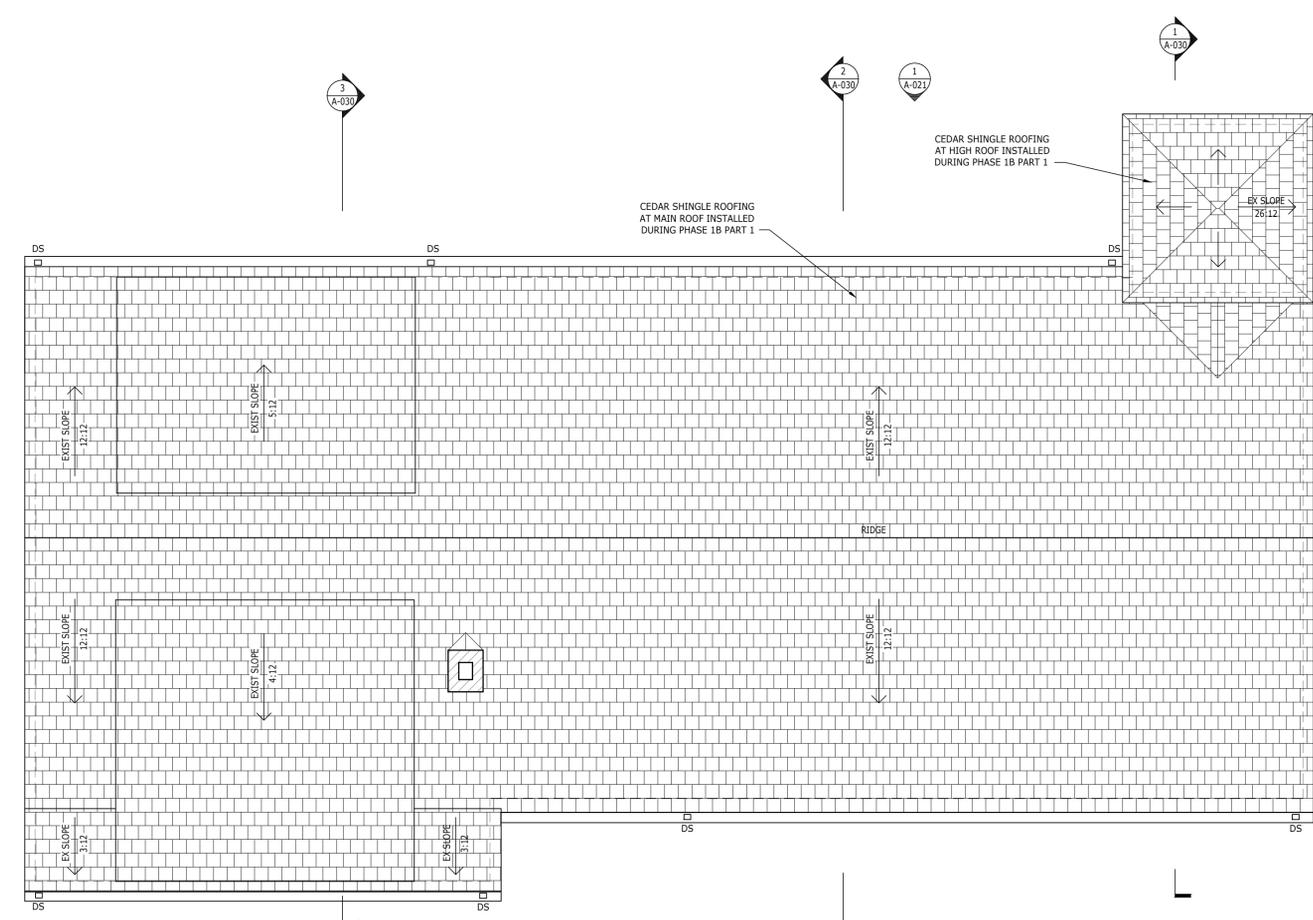
SHEET TITLE

ROOF PLAN - EXISTING CONDITIONS

SHEET NUMBER

A-014.00

1. EXISTING DRAWINGS ARE FOR REFERENCE PROPOSES ONLY.
2. CONTRACTOR IS RESPONSIBLE TO VERIFY CRITICAL FIELD CONDITIONS.
3. CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH RELEVANT WORK.



01 ROOF PLAN - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



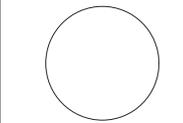
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CONSULTANTS

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 **TRUE NORTH**
 **PROJECT NORTH**

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

**DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA**

SHEET TITLE
 EXTERIOR
 ELEVATIONS -
 EXIST. CONDITIONS

SHEET NUMBER

A-020.00



01 EAST ELEVATION - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

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 3. CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH RELEVANT WORK.



02 WEST ELEVATION - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



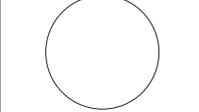
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TRUE NORTH
 PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

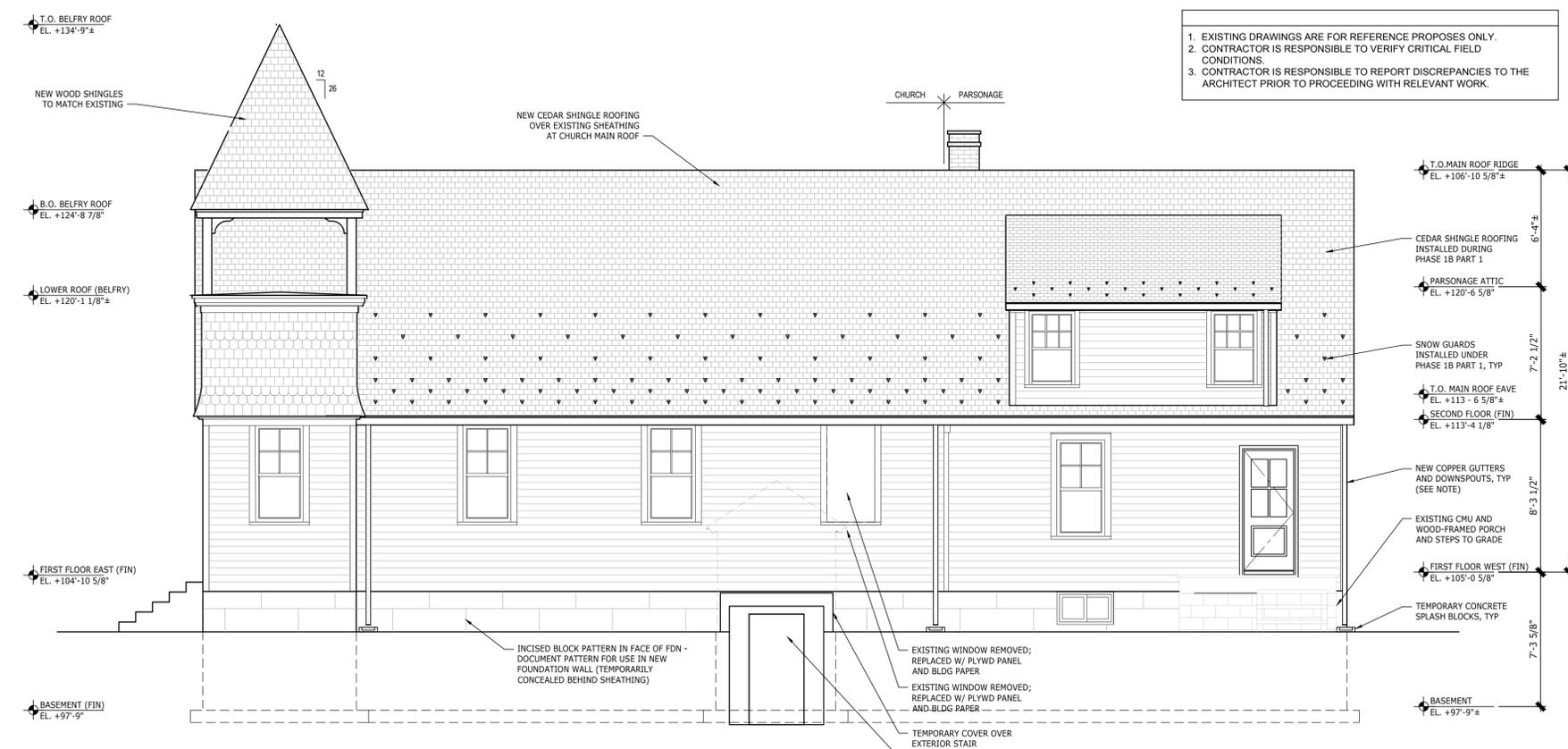
SHEET TITLE

EXTERIOR ELEVATIONS - EXIST. CONDITIONS

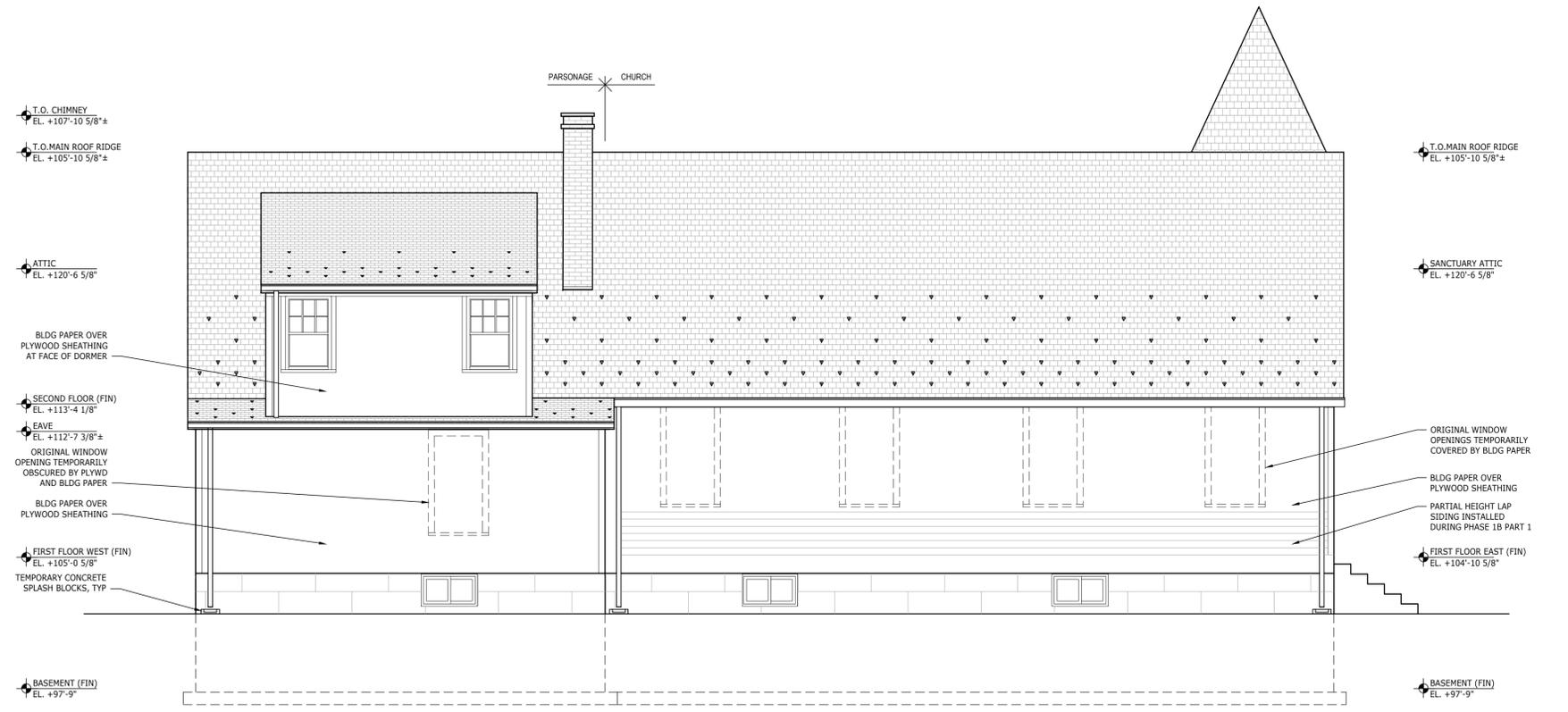
SHEET NUMBER

A-021.00

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- CONTRACTOR IS RESPONSIBLE TO VERIFY CRITICAL FIELD CONDITIONS.
- CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH RELEVANT WORK.



01 NORTH ELEVATION - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



CLARK GREEN + BEK
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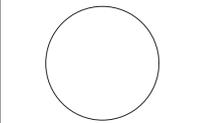
CONSULTANTS

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- GENERAL NOTES**
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 2. DIMENSIONS GOVERN.
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- TRUE NORTH
- PROJECT NORTH

PROFESSIONAL SEAL

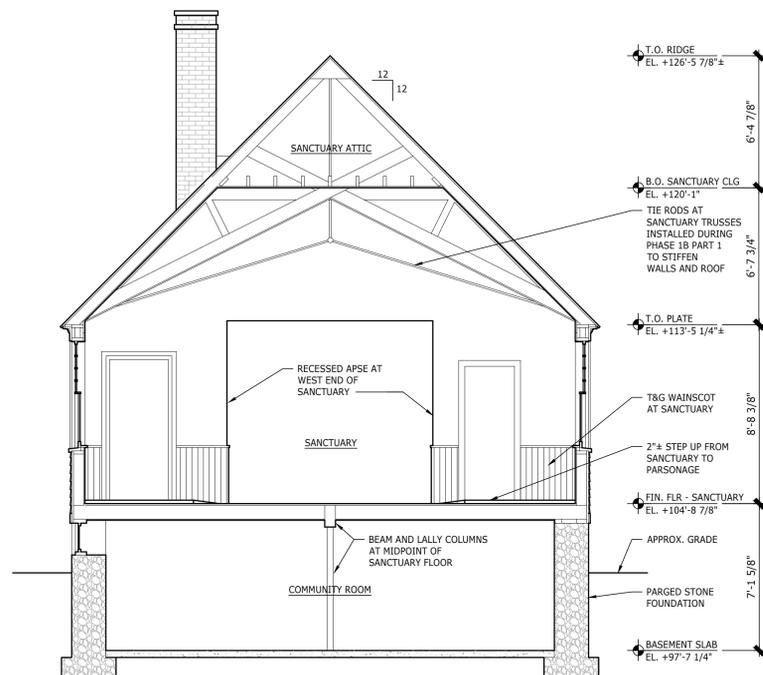


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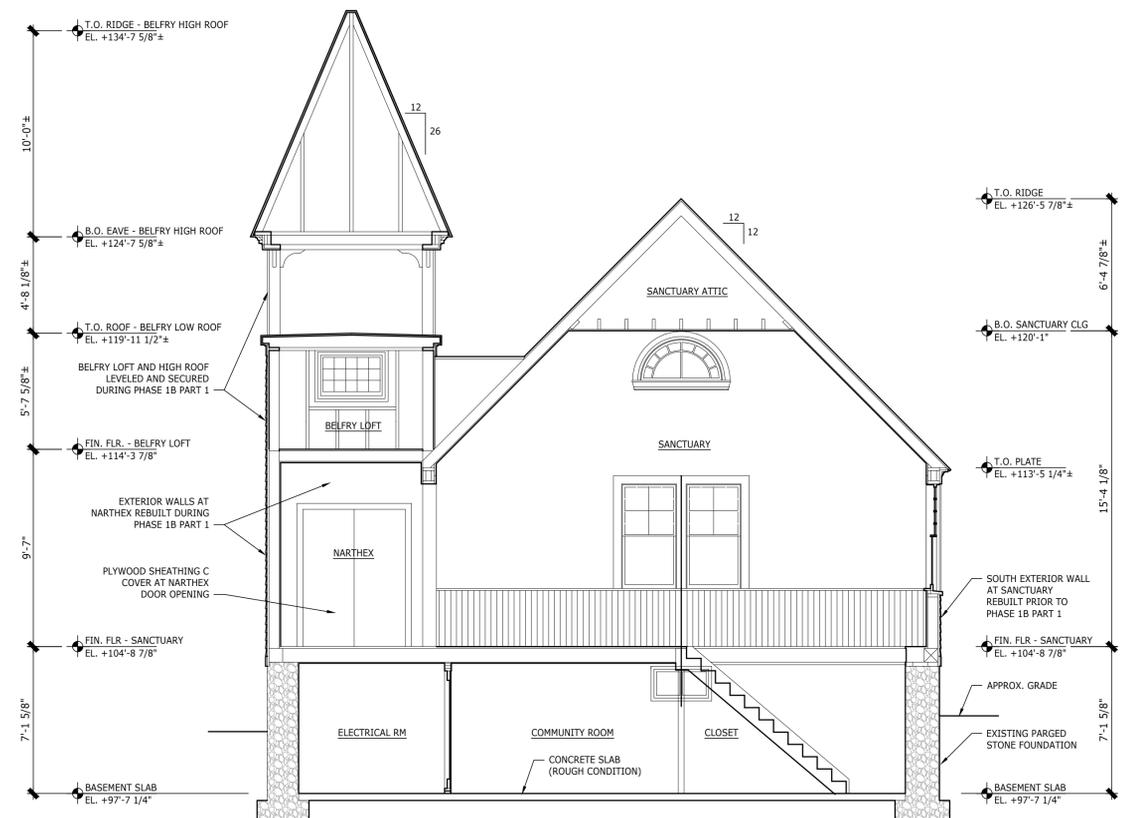
PROJECT TITLE

DU BOIS FREEDOM CENTER
PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE
 BUILDING SECTIONS - EXIST. CONDITIONS
 SHEET NUMBER



02 BUILDING SECTION AT SANCTUARY LOOKING WEST - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"



01 BUILDING SECTION AT SANCTUARY LOOKING EAST - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

A-030.00



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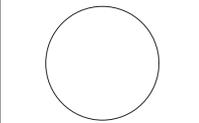
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CONSULTANTS

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- ⊗ TRUE NORTH
- ⊕ PROJECT NORTH

PROFESSIONAL SEAL



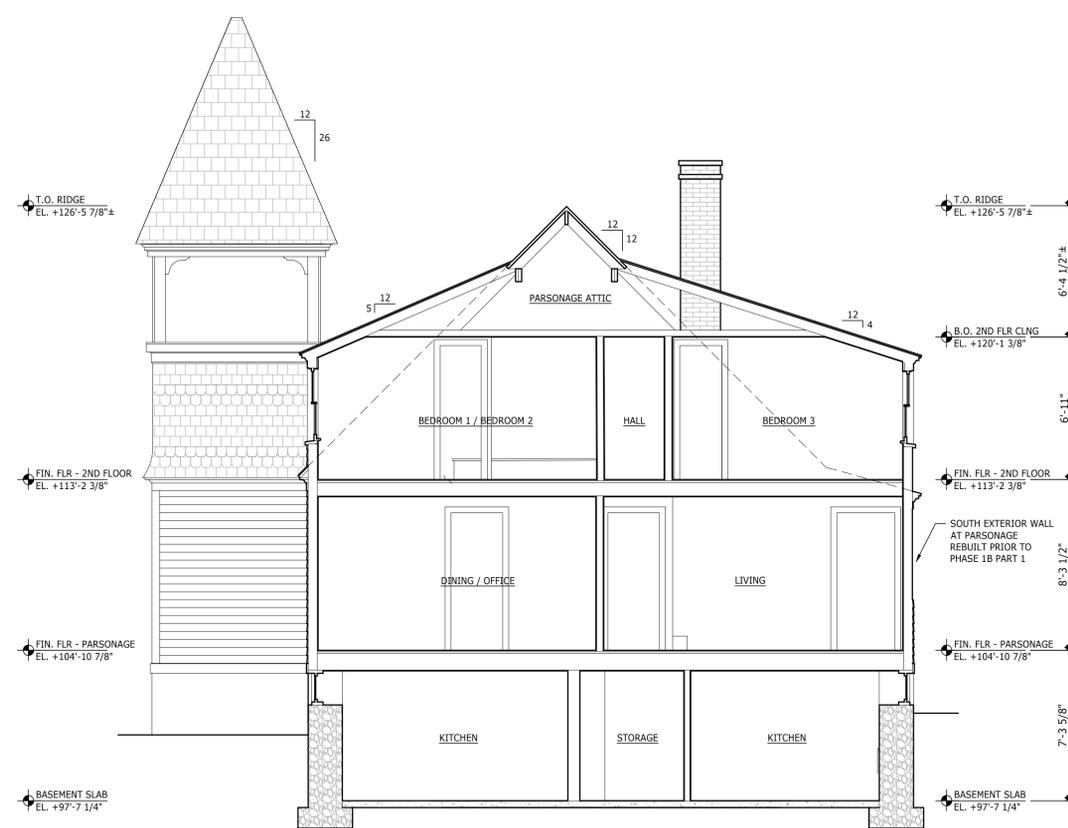
11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

**DU BOIS FREEDOM CENTER
 PHASE 1B - BASEMENT
 CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA**

SHEET TITLE
 BUILDING SECTIONS - EXIST. CONDITIONS
 SHEET NUMBER

1. EXISTING DRAWINGS ARE FOR REFERENCE PROPOSES ONLY.
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3. CONTRACTOR IS RESPONSIBLE TO REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH RELEVANT WORK.



02 BUILDING SECTION LOOKING EAST - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"



01 BUILDING SECTION LOOKING NORTH - EXISTING CONDITIONS
 SCALE: 1/4" = 1'-0"

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A-031.00



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CONSULTANTS

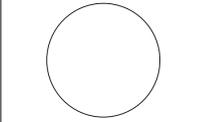
- GENERAL NOTES:**
1. AS STATED ON THE DEMOLITION PLAN, CONTRACTOR SHALL NOT PROCEED WITH THE LAYOUT OF FOOTINGS AND VERTICAL FOUNDATION FORMS UNTIL THE ARCHITECT HAS PROVIDED A REVISED FOUNDATION PLAN INCORPORATING THE CONTRACTOR'S MEASUREMENTS OF THE EXISTING WOOD SUPERSTRUCTURE.
 2. THIS PHASE INCLUDES SITE CLEARING AND EXCAVATION AS REQUIRED TO COMMENCE THE WORK.
 3. THIS PHASE INCLUDES THE CONSTRUCTION OF FOOTINGS AND PERIMETER CONCRETE FOUNDATION WALLS, AS WELL AS THE CONSTRUCTION OF INTERIOR TEMPORARY FOOTINGS, BEARING WALLS, AND COLUMNS REQUIRED TO SUPPORT THE WOOD SUPERSTRUCTURE WHEN IT IS LOWERED INTO PLACE ON THE NEW FOUNDATION WALLS.
 4. THIS PHASE INCLUDES THE CONSTRUCTION OF AN UNDER-SLAB DRAINAGE SYSTEM AND PERIMETER FOOTING DRAINS, TIED EXISTING CITY DRAINAGE SYSTEMS IN ACCORDANCE WITH THE CIVIL DRAWINGS.
 5. THIS PHASE DOES NOT INCLUDE THE PLACEMENT OF BELOW-GRADE UTILITIES, OR THE CONSTRUCTION OF A CONCRETE SLAB WITHIN THE BUILDING PERIMETER, (OTHER THAN THE REQUIRED TEMPORARY ELECTRICAL PANEL AND SERVICE AS NOTED ON THE FOUNDATION PLAN).
 6. REFER TO THE CIVIL DRAWINGS FOR UNDERSLAB AND EXTERIOR DRAINAGE SYSTEMS.

GENERAL NOTES

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11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

**DU BOIS FREEDOM CENTER
PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE
9 ELM COURT
GREAT BARRINGTON, MA**

SHEET TITLE

FOUNDATION PLAN

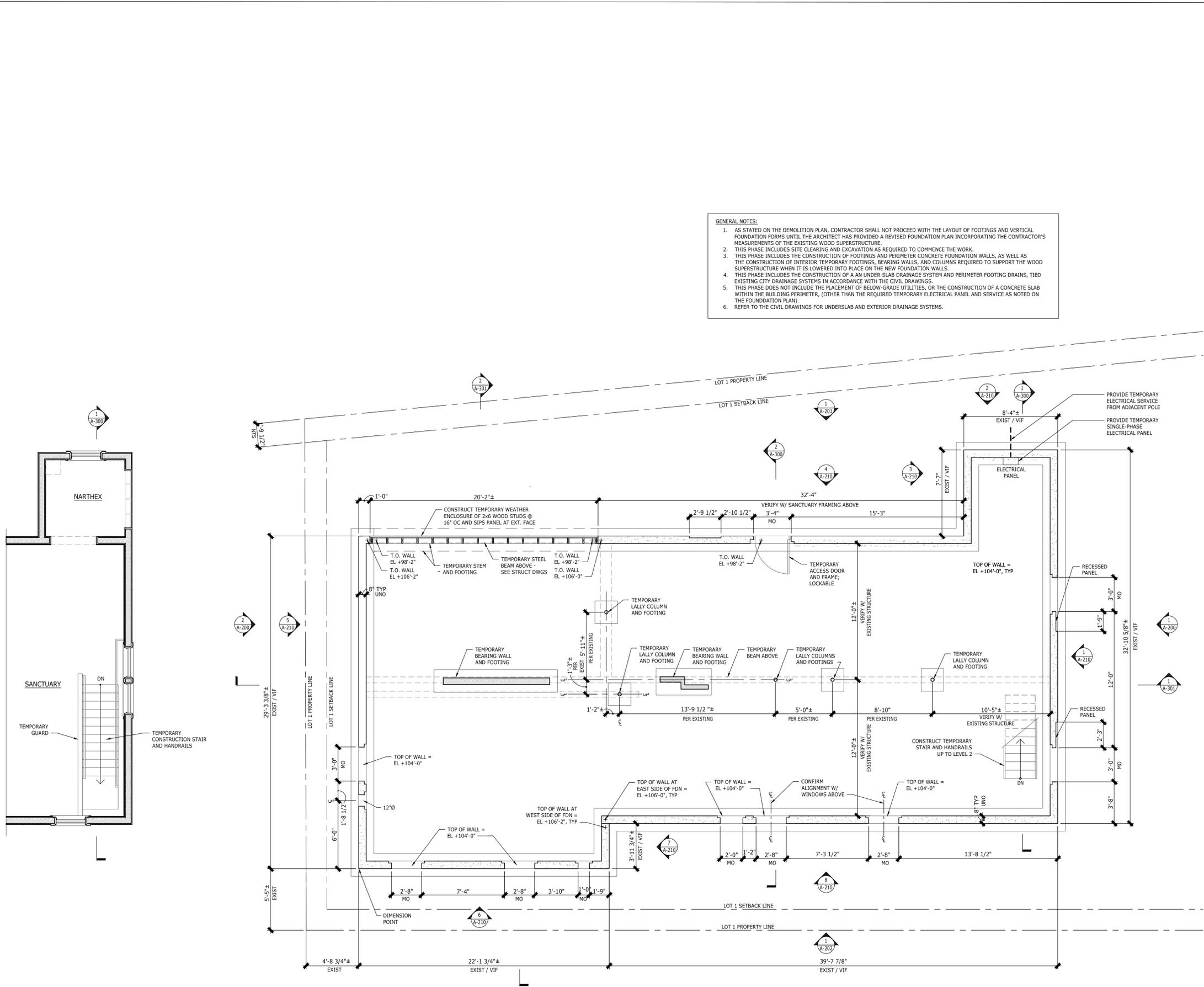
SHEET NUMBER

A-101.00

02 PARTIAL PLAN AT SANCTUARY
SCALE: 1/4" = 1'-0"

01 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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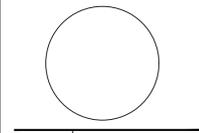
CONSULTANTS

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- TRUE NORTH
- PROJECT NORTH

PROFESSIONAL SEAL



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PROJECT TITLE

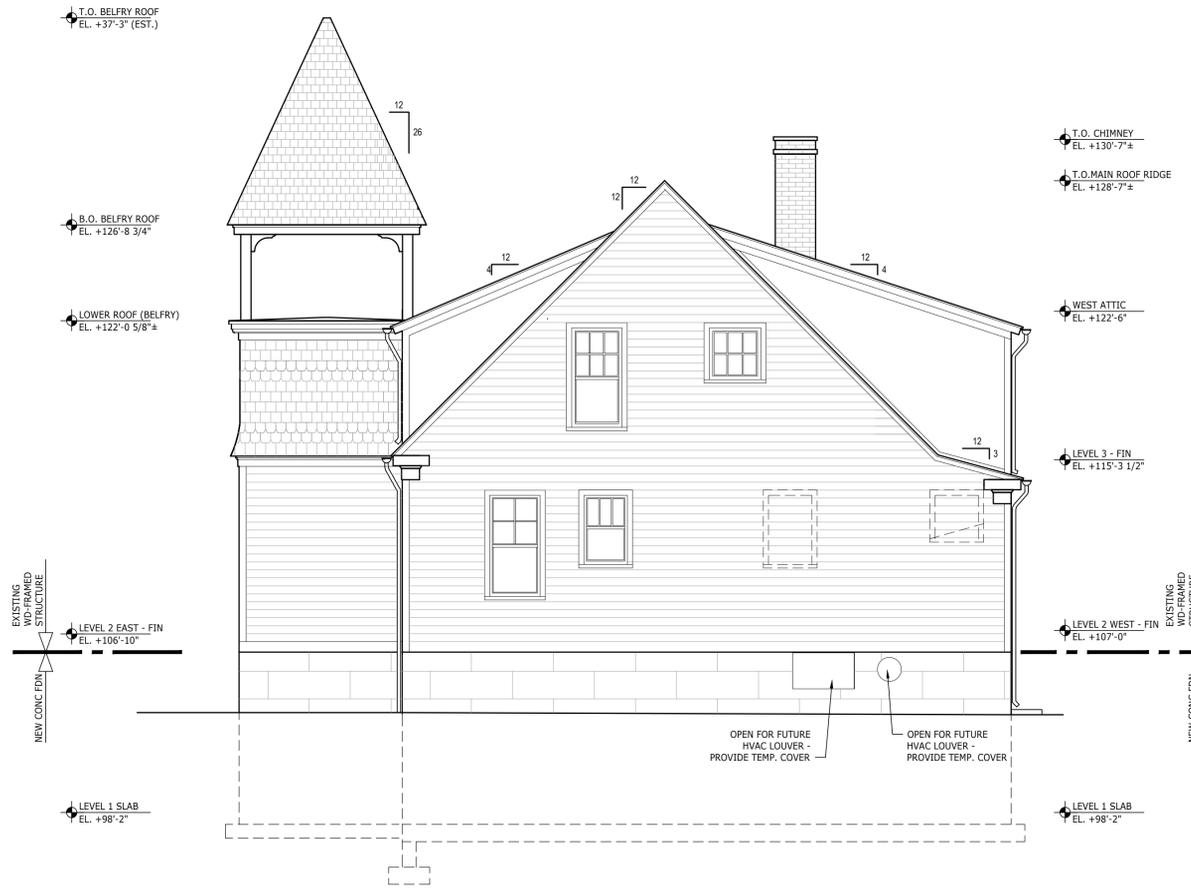
DU BOIS FREEDOM CENTER
PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE
9 ELM COURT
GREAT BARRINGTON, MA

SHEET TITLE

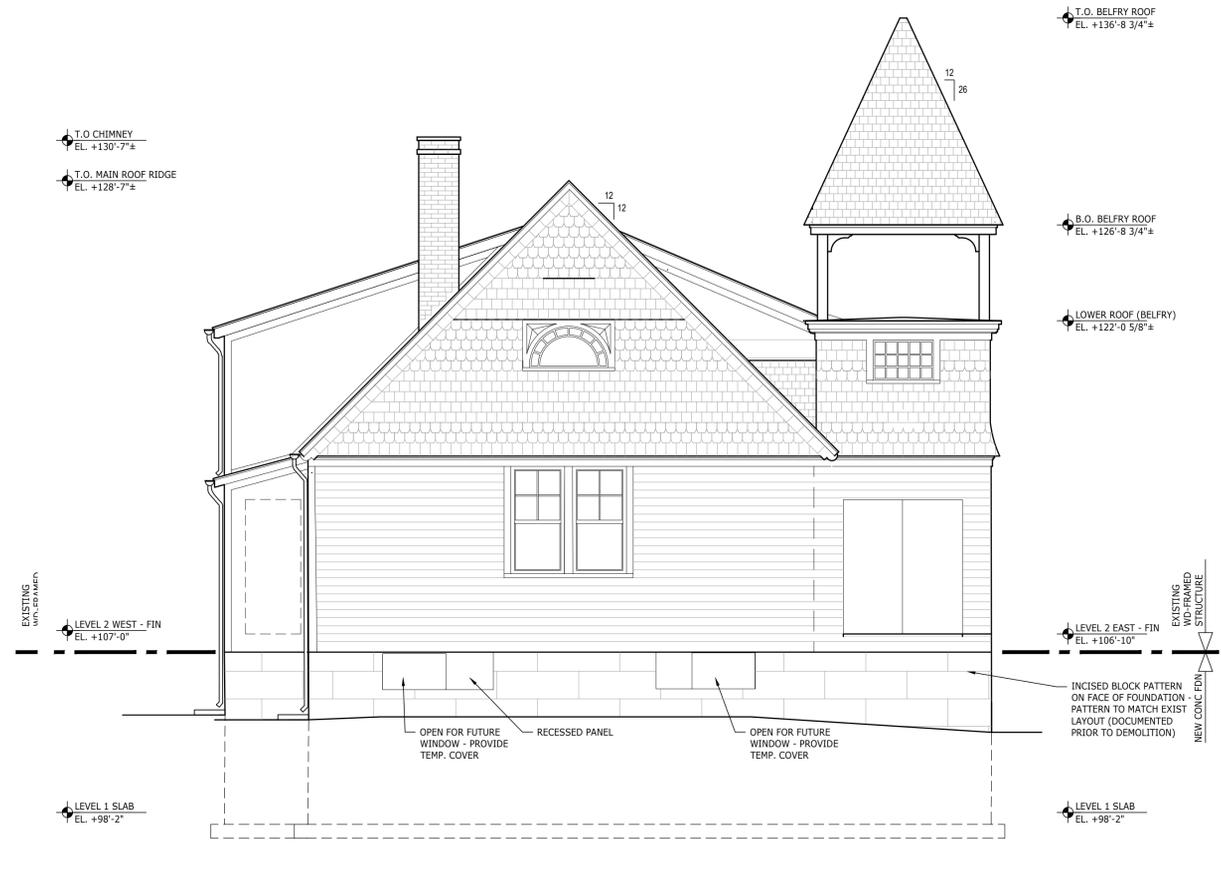
EXTERIOR ELEVATIONS

SHEET NUMBER

A-200.00



02 WEST ELEVATION
SCALE: 1/4" = 1'-0"



01 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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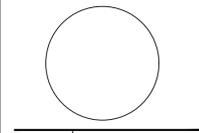
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- ⊕ PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

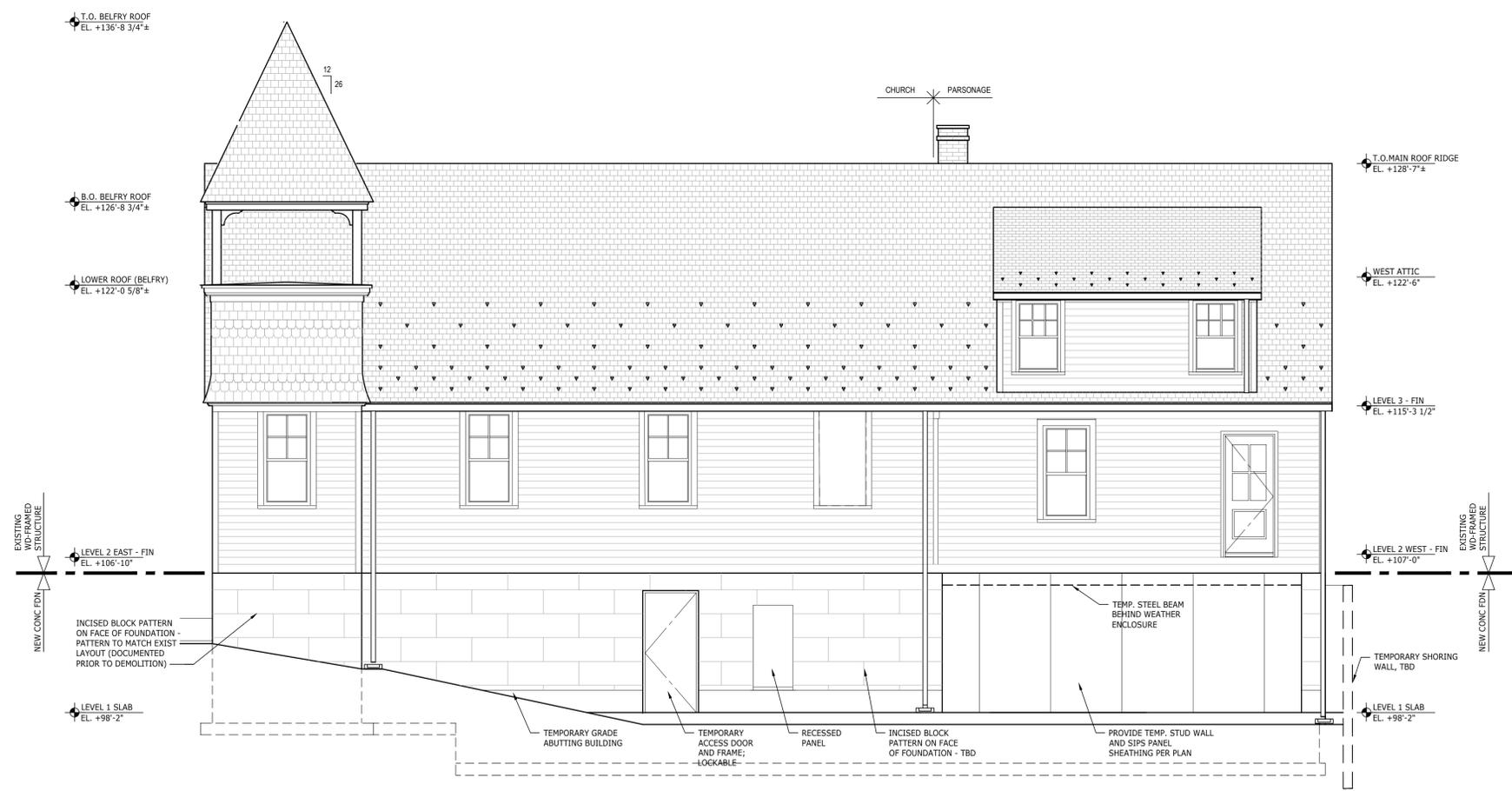
**DU BOIS FREEDOM CENTER
PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE**
9 ELM COURT
GREAT BARRINGTON, MA

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A-201.00



01 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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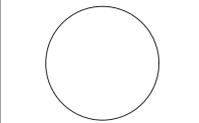
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PROFESSIONAL SEAL



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PROJECT TITLE

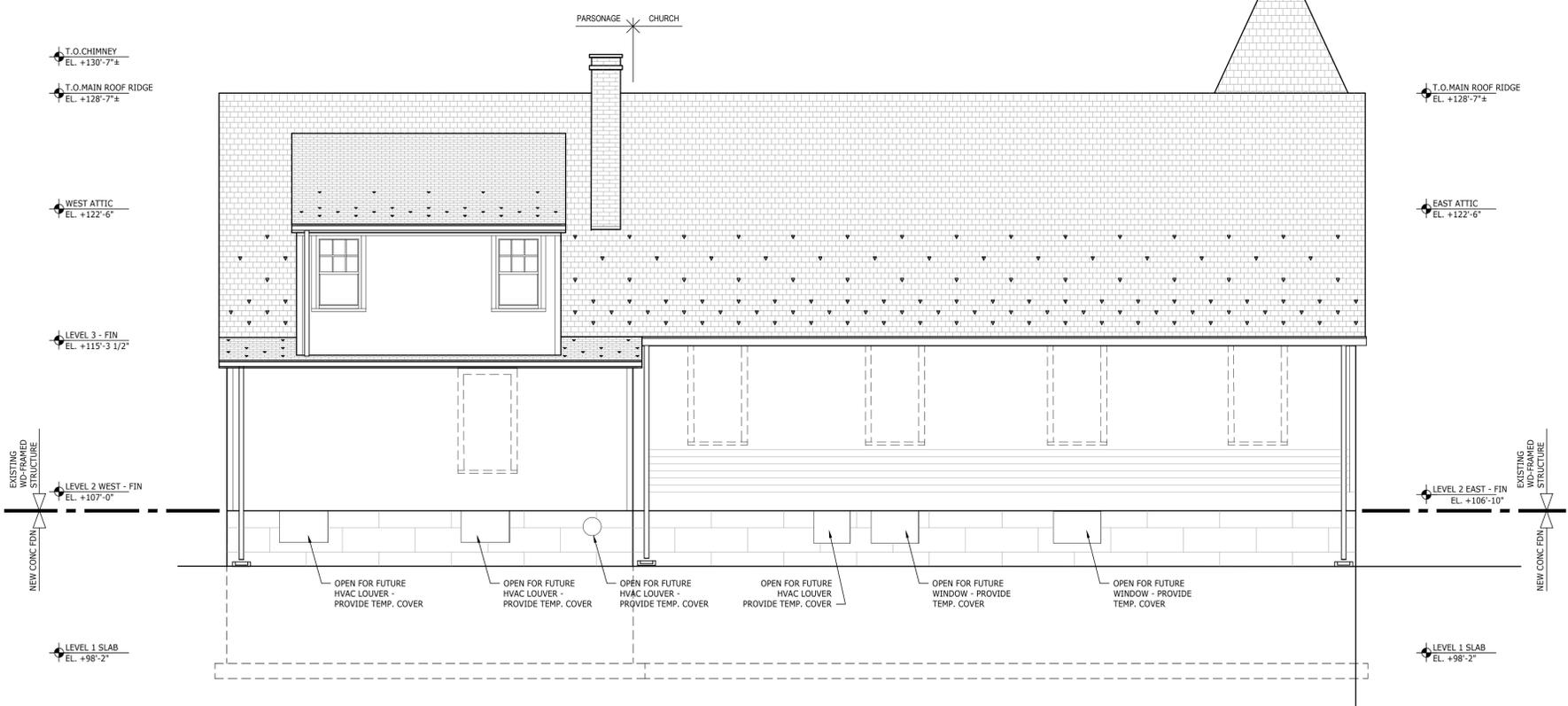
DU BOIS FREEDOM CENTER
PHASE 1B - BASEMENT
CONSTRUCTION SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A-202.00



01 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

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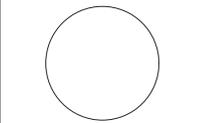
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- TRUE NORTH
- PROJECT NORTH

PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

PROJECT TITLE

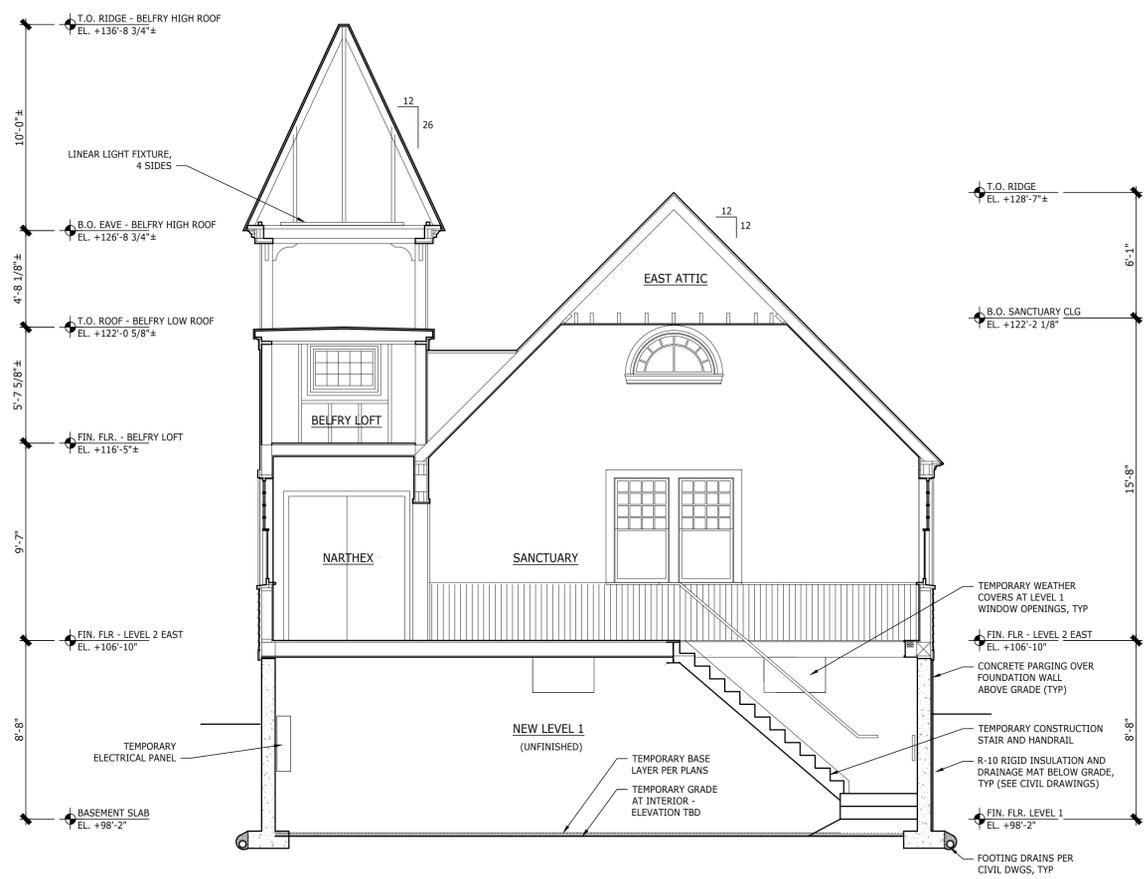
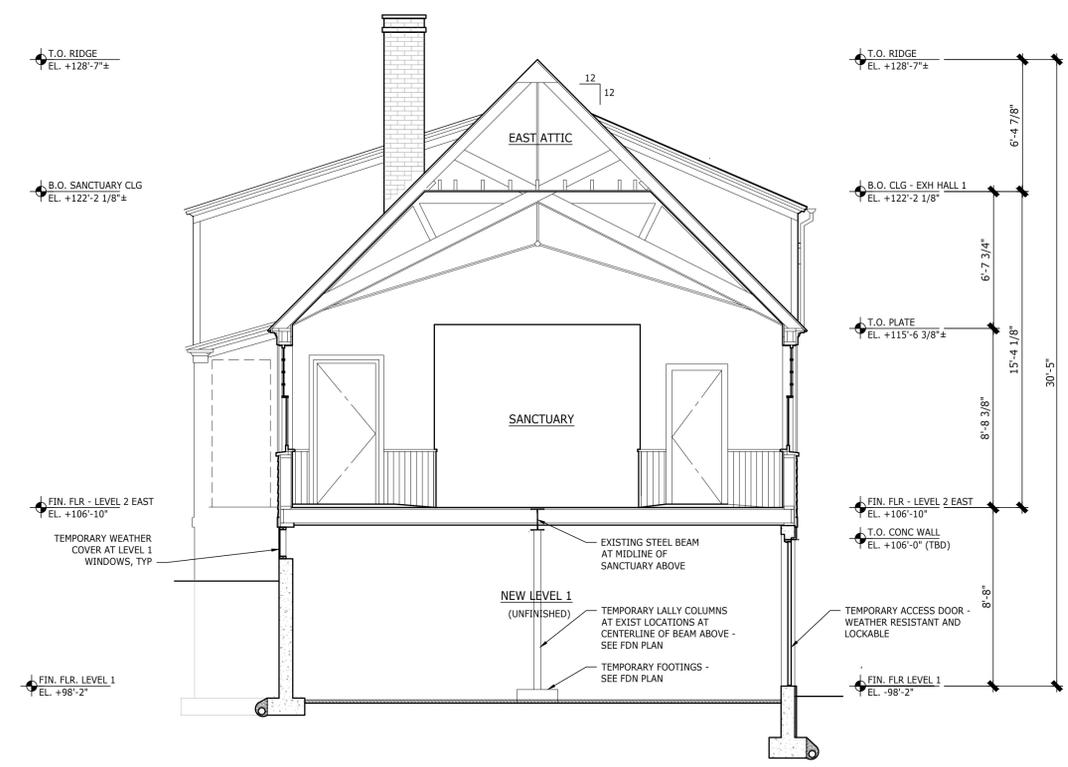
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 9 ELM COURT
 GREAT BARRINGTON, MA

SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

A-300.00



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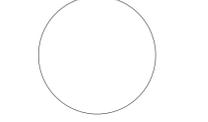
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PROFESSIONAL SEAL



11/26/25	SCOPE SUBMITTAL
DATE	REMARKS

PROJECT TITLE

THE W.E.B. DU BOIS CENTER
PHASE 1 B BASEMENT CONSTRUCTION
SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA 02130

SHEET TITLE

STRUCTURAL
GENERAL NOTES

SHEET NUMBER

S-100

NOT FOR CONSTRUCTION

IF ACTUAL CONDITIONS ENCOUNTERED IN THE FIELD VARY FROM THOSE ASSUMED, NOTIFY ARCHITECT IMMEDIATELY & ALLOW FOR RE-ISSUE OF DETAIL IN AFFECTED AREA.

M11. FINAL MORTAR WASHDOWN CLEANER

- FOR NON-PIGMENTED MORTARS, USE EQUAL OR EQUIVALENT TO "SURE KLEAN 600 DETERGENT" AS MANUFACTURED BY PROSOCC CORP.
- FOR PIGMENTED MORTARS USE EQUAL OR EQUIVALENT TO "VANA TROL" AS MANUFACTURED BY PROSOCC CORP.

M11. ALL DISMANTLED WORK SHALL BE FULLY DOCUMENTED AND THE ORIGINAL GEOMETRY OF THE STRUCTURE (BEFORE BULGING AND SAGGING) BE ESTABLISHED. RECONSTRUCTION SHALL BE DONE TO REPLICATE ORIGINAL GEOMETRY.

CONCRETE AND REINFORCEMENT

C1. CONCRETE WORK IS TO CONFORM TO BUILDING CODE REQUIREMENTS FOR REINFORCED AND PLAIN CONCRETE (ACI 318-19) AND SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301-14).

C2. CONCRETE SHALL BE CONTROLLED CONCRETE, PROPORTIONED, AND MIXED UNDER THE SUPERVISION OF AN APPROVED CONCRETE TESTING AGENCY RETAINED BY THE OWNER.

C3. WHEN CONCRETE IS PLACED AT OR BELOW AMBIENT TEMPERATURES OF 40 DEGREES F, OR WHENEVER LOWER TEMPERATURES ARE LIKELY TO OCCUR WITHIN 48 HOURS AFTER PLACEMENT OF CONCRETE, COLD WEATHER CONCRETING PROCEDURES, IN ACCORDANCE TO ACI 306R SHALL BE FOLLOWED. COLD WEATHER PROTECTION SHALL ALSO APPLY TO MASONRY CONSTRUCTION WHENEVER THE TEMPERATURE FALLS BELOW 40 DEGREES.

C4. CONFORM TO ACI 305R WHEN CONCRETING DURING HOT WEATHER.

C5. CONCRETE IS TO HAVE 4,000 PSI (NORMALWEIGHT) COMPRESSIVE STRENGTH AT 28 DAYS.

C6. CONCRETE IS TO BE PLACED WITHOUT HORIZONTAL CONSTRUCTION JOINTS.

C7. DETAILING, FABRICATION, AND ERECTION OF REINFORCEMENT, UNLESS OTHERWISE NOTED, SHALL CONFORM TO ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-19)" AND ACI "DETAILING MANUAL-2004 (SP-066(04))".

C8. STEEL REINFORCEMENT SHALL CONFORM TO ASTM 615 GRADE 60 (YIELD STRESS = 60,000 PSI).

C9. REINFORCEMENT IS TO BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

C10. CONCRETE SHALL BE MAINTAINED IN A MOIST STATE AND AT A TEMPERATURE OF AT LEAST 40°F FOR A PERIOD OF NOT LESS THAN 4 DAYS FOLLOWING PLACEMENT.

C11. SLUMP OF CONCRETE SHALL BE 4-6" AND WATER-CEMENT RATIO SHALL BE A MAXIMUM OF 0.40.

C12. PROVIDE ALL NECESSARY ACCESSORIES TO HOLD REINFORCEMENT SECURELY IN POSITION IN THE LOCATIONS SHOWN ON THE SECTIONS.

C13. PROVIDE MIX DESIGN FOR EACH TYPE OF CONCRETE TO BE USED ON THE PROJECT. EACH MIX DESIGN SHALL BE APPROVED PRIOR TO ORDERING CONCRETE.

ABBREVIATIONS

ABBREVIATION	WORD
ADDL	ADDITIONAL
ALT	ALTERNATE
ACI	AMERICAN CONCRETE INSTITUTE
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ASI	AMERICAN IRON AND STEEL INSTITUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWS	AMERICAN WELDING SOCIETY
MAS	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
MID	MIDDLE
MIN	MINIMUM
MISC	MISCELLANEOUS
NS	NON-SHRINK
NTS	NOT TO SCALE
NO	NUMBER
OC	ON CENTER
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
REF	REFERENCE
REINF	REINFORCE or REINFORCEMENT
REQD	REQUIRED
SCHED	SCHEDULE
SECT	SECTION
SIM	SIMILAR
SPECS	SPECIFICATIONS
STD	STANDARD
STL	STEEL
STR	STRUCTURAL
TEMP	TEMPERATURE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
V or VERT	VERTICAL
VIF	VERIFY IN FIELD
WWF	WELDED WIRE FABRIC
W/	WITH
XFER	TRANSFER
LG	LONG
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LP	LOW POINT
BM	BEAM
BRG	BEARING
BETW	BETWEEN
CIP	CAST-IN-PLACE
CTRD	CENTERED
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
COORD	COORDINATE
DET	DETAIL
#	DIAMETER
DWG	DRAWING
EA	EACH
ELEV	ELEVATION
EQ	EQUAL
EXT	EXTERIOR
FT	FEET or FOOT
FL	FLOOR
FTG	FOOTING
FDN	FOUNDATION
GALV	GALVANIZED
GEN	GENERAL
GEW	GABLE END WALL
GR	GRADE
HP	HIGH POINT
HS	HIGH STRENGTH
HSS	HOLLOW STRUCTURAL SECTION
HORIZ	HORIZONTAL
K	KIP (1000 POUNDS)

W9. CONNECTIONS:

- ALL FLUSH FRAMED CONVENTIONAL WOOD JOIST CONNECTIONS TO BE SIMPSON TYPE HU OR EQUAL.
- COMPLY WITH MANUFACTURER INSTALLATION SPECIFICATIONS FOR ALL SIMPSON (OR APPROVED EQUIVALENT) HARDWARE.
- ALL WOOD POST BASES ON CONCRETE TO BE SIMPSON TYPE ABU OR EQUAL.
- ANCHOR BOLTS AND BOLTS FOR STRUCTURAL TIMBER ARE TO BE ASTM A307. STANDARD CUT WASHERS ARE TO BE PROVIDED BETWEEN THE WOOD AND BOLT NUT, UNLESS STEEL PLATES OR PLATE WASHERS ARE USED, AS INDICATED ON STRUCTURAL DRAWINGS. BOLT HOLES IN STRUCTURAL TIMBER ARE TO BE 1/8 INCH LARGER THAN THE NOMINAL BOLT DIAMETER INDICATED.
- ALL EXTERIOR CONNECTION HARDWARE INCLUDING NAILS, BOLTS, AND FABRICATED CONNECTORS IS TO BE STAINLESS STEEL OR GALVANIZED. ELECTROGALVANIZED STOCK SHALL HAVE A CLASS RATING OF 40 OR HIGHER, AND HOT-DIPPED GALVANIZED STOCK SHALL BE G-185.

W10. ENGINEERED WOOD TIMBER

- SCHEDULE ON SHOP DRAWINGS AND PROVIDE LOAD RATED PRE-MANUFACTURED WOOD CONNECTORS FOR POSTS TO BEAM AND ALL FLUSH-FRAMED MEMBERS. PROVIDE FASTENERS IN ACCORDANCE WITH MANUFACTURER SCHEDULE FOR EACH TYPE.
- WHERE NO MANUFACTURED WOOD CONNECTOR EXISTS, FABRICATE FROM 1/4 INCH WELDED STEEL PLATE TO CONFORM TO THE MOST SIMILAR SIMPSON CONNECTOR.
- CONNECTION SHALL BE DESIGNED FOR MAXIMUM CAPACITY OF THE CONNECTED MEMBERS FOR THE SPANS INDICATED.
- END BEARING OF LVL BEAMS SHALL BE 2 1/4 INCHES MINIMUM AND ACROSS THE FULL WIDTH OF THE BEAM.
- MINIMUM BEARING LENGTHS ARE GOVERNED BY Fc PERPENDICULAR OF THE WALL PLATE = 425-PSI, OR BY 750-PSI BEARING STRENGTH OF THE VENEER LUMBER WHEN PLACED ON STEEL SUPPORTING CONNECTOR.
- ALL LVL BEAMS REQUIRE LATERAL SUPPORT OR BLOCKING AT BEARING POINTS.
- BUILT UP LVL BEAMS SHALL BE NAILED OR BOLTED TOGETHER IN ACCORDANCE WITH THE SCHEDULE ON THE MANUFACTURER'S LITERATURE, BUT NOT LESS THAN 3 ROWS OF 16d NAILS AT 12 INCHES O.C. THROUGH ALL PILES.
- ADHESIVES SHALL BE PROVIDED AT ALL PLYWOOD FLOOR TO WOOD JOIST AND BEAM FASTENINGS. ADHESIVES SHALL CONFORM TO TRUSS JOIST MANUFACTURER'S STANDARDS AND MEET THE REQUIREMENTS OF ASTM D2559.

MASONRY

M1. DO NOT PERFORM ANY WET MASONRY WORK WHEN TEMPERATURE OF SURROUNDING AREA IS BELOW 40 DEGREES F, OR BELOW 45 DEGREES F, AND FALLING, OR FORECAST BY PUBLIC NEWS MEDIA TO FALL TO OR BELOW 35 DEGREES F, WITHIN 24 HOURS WITHOUT TEMPORARY HEATED ENCLOSURES OR WITHOUT HEATING MATERIALS OR OTHER PRECAUTIONS NECESSARY TO PREVENT FREEZING. MINIMUM TEMPERATURE WITHIN HEATED ENCLOSURE SHALL BE 40 DEGREES F. DO NOT USE MASONRY MATERIALS WHICH ARE LIKELY TO CONTAIN FROST. DO NOT USE ACCELERATING INGREDIENTS WITH ANY MORTAR. MORTAR SHALL HARDEN WITHOUT FREEZING AND WITH NO DAMAGE FROM FROST. PROTECT ALL WORK AGAINST FREEZING FOR NOT LESS THAN 48 HOURS AFTER INSTALLATION.

M2. PROTECT MASONRY WORK IN HOT WEATHER TO PREVENT EXCESSIVE EVAPORATION OF SETTING BEDS AND GROUT. PROVIDE ARTIFICIAL SHADE, WIND BREAKS AND USE COOLED MATERIALS AS REQUIRED. USE FRESH MORTAR. DISCARD MORTAR THAT HAS STIFFENED DUE TO HYDRATION.

M3. PREVENT GROUT OR MORTAR USED IN REPOINTING AND REPAIR WORK FROM STAINING FACE OF SURROUNDING MASONRY AND OTHER SURFACES. REMOVE IMMEDIATELY GROUT AND MORTAR IN CONTACT WITH EXPOSED MASONRY AND OTHER SURFACES.

M4. PROTECTION: PROTECT AND MAINTAIN ALL WORK IN A DRY SAFE CONDITION FOR THE DURATION OF THE WORK.

M5. PROTECTION DURING CLEANING: PROTECT PERSONS, MOTOR VEHICLES, CONSTRUCTION SITE AND SURROUNDING BUILDINGS FROM INJURY RESULTING FROM STONE CLEANING WORK.

M6. MORTAR AND GROUT MATERIALS:

- CEMENT: TYPE 1 WHITE AND/OR GRAY CEMENT AS FOLLOWS: PORTLAND CEMENT: ASTM C150 COMPLYING WITH STAINING REQUIREMENTS OF ASTM C91 FOR A LOW-ALKALI CEMENT HAVING A MAXIMUM OF 0.60% EQUIVALENT ALKALIS. MORTAR SHALL SHOW NO EFFLORESCENCE WHEN CAST IN A 2' x 7' x 1/2" SLAB CONSISTING OF 1 PART OF THE CEMENT TO BE USED, 2 PARTS OTTAWA PLASTIC MORTAR SAND AND DISTILLED WATER, AND SUBJECTED TO A 7 DAY "WICK" TEST CONFORMING TO ASTM C67.
- HYDRATED LIME: ASTM C207, TYPE S.
- FINE AGGREGATE / SAND FOR MORTAR AND GROUT: ASTM C144, WASHED, CLEAN AND FREE OF SALTS. FOR USE IN MORTAR THAT WILL BE USED FOR POINTING THAT IS EXPOSED TO PUBLIC VIEW SAND SHALL MATCH THE SAND IN THE ORIGINAL MORTAR IN COLOR, COARSENESS AND GRADATION, SUBJECT TO REVIEW BY THE ENGINEER.
- WATER: POTABLE, CLEAN, FREE OF OILS, ACIDS, ALKALIS AND ORGANIC MATTER.

M7. MASONRY UNITS: HOLLOW LOAD BEARING BLOCK UNITS (CMU): ASTM C90 MOISTURE CONTROLLED; NORMAL WEIGHT.

M8. PROVIDE MORTAR CONFORMING TO ASTM C1713 "PROPORTION SPECIFICATION" IN THE FORMULATION(S) AS LISTED BELOW.

- PROVIDE THE FOLLOWING:
 - STRUCTURAL MORTAR FOR CONCRETE UNIT MASONRY CONSTRUCTION SHALL BE 1 PART PORTLAND CEMENT, 1/4 PART HYDRATED LIME AND 3-3/4 PARTS BULKED SAND.
 - SAND SHALL BE PROPERLY SELECTED AND BLENDED TO MATCH THE COLOR, TEXTURE AND APPEARANCE OF THE EXISTING MORTAR SAND, AND WHEN USED, PORTLAND CEMENT SHALL BE A COMBINATION OF WHITE AND GRAY CEMENT THAT BEST SUITS THE COLOR MATCHING OF THE EXISTING MORTAR BINDER. WHERE ADDITIONALLY NEEDED, UP TO 10% BY MINERAL OXIDE PIGMENT BY WEIGHT OF BINDER MAY BE ADDED TO BEST MATCH THE COLOR OF THE ORIGINAL MORTAR. PIGMENTS SHALL BE CHEMICALLY PURE MINERAL OXIDES, ALKALI PROOF AND LIGHT FAST, AND SHALL BE EQUAL OR EQUIVALENT TO "SOLOMON GRIND" AS MANUFACTURED BY CHEM SERVICES INC, OF SPRINGFIELD, IL.
- MORTAR SPECIFIED PER ASTM C1713 SHALL BE PROPORTIONED AND MIXED BY HAND AS PRE-PACKAGED MORTARS DO NOT CLEARLY STATE THE MORTAR MIX PROPORTIONS IN THE BAG.
- THE CONTRACTOR SHALL REVIEW TEST DATA AND PRODUCTS WITH THE ENGINEER AND ANY REQUIRED ADJUSTMENTS SHALL BE MADE. CONTRACTOR SHALL THEN SUBMIT A RECORD MORTAR MIX DESIGN ALONG WITH PRODUCT DATA SHEETS TO THE ENGINEER FOR VERIFICATION AND REVIEW BEFORE BEGINNING ANY MIXING AND/OR SETTING.

M9. MORTAR AND GROUT MIXING

- THOROUGHLY MIX MORTAR INGREDIENTS IN ACCORDANCE WITH ASTM C270 IN QUANTITIES NEEDED FOR IMMEDIATE USE.
- MIX GROUT IN ACCORDANCE WITH ASTM C94 OR THOROUGHLY MIX GROUT INGREDIENTS IN QUANTITIES NEEDED FOR IMMEDIATE USE IN ACCORDANCE WITH ASTM C476 AND/OR MANUFACTURER'S INSTRUCTIONS. MORTAR COLORS SHALL BE CHOSEN TO MATCH CLEANED STONE AND MORTAR SURFACES. CHEMICALLY CLEAN AN 18" SQUARE AREA OF WALL AT A LOCATION TO BE DESIGNATED IN THE FIELD BY THE ENGINEER FOR USE IN COLOR COMPARISON.
- DO NOT USE ANTIFREEZE COMPOUNDS TO LOWER THE FREEZING POINT OF GROUT.

M10. GROUT FOR GROUTED REINFORCED CONCRETE UNIT MASONRY AND FORMED GROUT CONSTRUCTION:

- FOR BOND BEAMS, FORMED GROUT ARCHES AND GROUTED BEARING BLOCKS-- 3,000 PSI STRENGTH AT 28 DAYS; 3-6 INCHES SLUMP; PREMIXED TYPE IN ACCORDANCE WITH ASTM C94 OR MIXED IN ACCORDANCE WITH ASTM C476 COURSE GROUT.
- FOR GROUTED CORES OF REINFORCED CONCRETE UNIT MASONRY: 3,000 PSI STRENGTH AT 28 DAYS; 8-10 INCHES SLUMP; PREMIXED TYPE IN ACCORDANCE WITH ASTM C94 OR MIXED IN ACCORDANCE WITH ASTM C476 FINE GROUT.
- CMU GROUTS SHALL HAVE 25 PERCENT FLY ASH ADDED BY WEIGHT OF CEMENT.

GENERAL

G1. WORK SHALL CONFORM TO THE REQUIREMENTS OF THE TENTH EDITION AND OTHER REFERENCES OF THE MASSACHUSETTS BUILDING CODE

G2. CONTRACTOR SHALL VERIFY & COORDINATE ALL DIMENSIONS ON THE JOB.

TEMPORARY SHORING AND BRACING

B1. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION EMPLOYED ON THIS PROJECT, AND FOR ALL TEMPORARY BRACING, SUPPORT, AND PROTECTION OF THE EXISTING STRUCTURE AND ITS PARTS. PROVIDE AND INSTALL SHORING DESIGNED TO SUPPORT THE TEMPORARY STRUCTURAL LOADS OF THE SUPPORTED ITEMS. SUBMIT SHORING PRODUCTS, CONFIGURATION, AND PROCEDURE TO THE ENGINEER FOR HIS REVIEW PRIOR TO SHORING AND BRACING. CONTRACTOR SHOULD BE PREPARED TO RETAIN THE SERVICES OF A MASSACHUSETTS-REGISTERED PROFESSIONAL STRUCTURAL AT HIS OWN EXPENSE IN ORDER TO MAINTAIN SAFE AND STABLE CONDITIONS ON THE PROJECT.

B2. SHORING SHALL BE OF ANY MATERIAL THAT IS SUITABLE FOR THE APPLICATION. TIMBER SHORING SHALL BE FULLY DRIED AND ALL END GRAIN SHALL BE SEALED TO PREVENT ABSORPTION OF WATER AND ASSOCIATED SWELLING. SHORING SHALL BE MADE STABLE, STIFF, AND SNUG FITTING SO AS NOT TO DEFLECT UNDER LOAD. PRE LOAD SUPPORTED ELEMENTS FOR SNUG FIT ONLY. SHORING SHALL DEFLECT NO MORE THAN THE GIVEN SPAN LENGTH DIVIDED BY 600.

B3. BEARING SURFACES OF SHORING SHALL BE REVIEWED WITH ENGINEER IN FIELD AND SHALL PROVIDE FOR PROPER TRANSFER OF LOADS TO SUPPORTING AND SUPPORTED ELEMENTS.

STRUCTURAL STEEL

S1. STRUCTURAL STEEL WORK SHALL CONFORM TO "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" (ASD OR LRFD, 15th EDITION (AISC 360-16); AND STRUCTURAL WELDING CODE -- STEEL (AWS D1.1-04).

S2. STRUCTURAL STEEL SHALL BE NEW STEEL CONFORMING TO THE FOLLOWING:

ROLLED STEEL SHAPES:	ASTM A992 GRADE 50
PLATES	ASTM A36
STRUCTURAL PIPES:	ASTM A53, GRADE B
STRUCTURAL TUBES:	ASTM A500, GRADE B
ANCHOR BOLTS:	ASTM A307
HIGH STRENGTH BOLTS:	ASTM A325
WELDING ELECTRODES:	AWS E70-XX

S3. SUBMIT SHOP DRAWINGS OF ALL FABRICATIONS SHOWING FIELD VERIFIED DIMENSIONS, LOCATIONS, AND CONNECTIONS TO BE MADE IN THE FIELD.. SUBMIT PRODUCT LITERATURE FOR STANDARD PRODUCTS AND/PR MASS-PRODUCED ITEMS TO BE USED.

S4. ALLOW FOR ERECTION LOADS, AND FOR SUFFICIENT TEMPORARY BRACING TO MAINTAIN STRUCTURE IN SAFE, PLUMB, AND IN TRUE ALIGNMENT UNTIL COMPLETION OF ERECTION AND INSTALLATION OF PERMANENT BRACING

S5. FIELD-WELD STRUCTURAL COMPONENTS ONLY WITH THE APPROVAL OF ENGINEER

S6. DO NOT FIELD CUT OF ALTER STRUCTURAL MEMBERS WITHOUT APPROVAL OF ENGINEER

S7. WORK SHALL BE DONE FROM APPROVED SHOP DRAWINGS ONLY

S8. AFTER ERECTION, PRIME WELDS, ABRASIONS, AND SURFACES NOT GALVANIZED

S9. PROVIDE NON-SHRINK GROUT BETWEEN ALL STEEL AND MASONRY CONTACT SURFACES FOR UNIFORM BEARING, TROWEL EDGES OF GROUTED SURFACE SMOOTH, SPLAY NEATLY TO 45 DEGREES.

STRUCTURAL WOOD

W1. WOOD CONSTRUCTION IS TO CONFORM TO THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS-15).

W2. NEW TIMBER FOR STRUCTURAL USE IS TO BE SURFACE DRIED AND HAVE A MOISTURE CONTENT OF NOT MORE THAN 15 PERCENT.

W3. STRUCTURAL TIMBER IS TO BE IDENTIFIED BY THE GRADE MARK OF, OR CERTIFICATE OF INSPECTION ISSUED BY, A GRADING OR INSPECTION BUREAU OR AGENCY RECOGNIZED AS BEING COMPETENT.

W4. STRUCTURAL TIMBER IS TO BE VISUALLY STRESS-GRADED LUMBER IN ACCORDANCE WITH THE PROVISIONS OF ASTM DESIGNATION D245-06, "METHODS FOR ESTABLISHING STRUCTURAL GRADES AND RELATED ALLOWABLE PROPERTIES FOR VISUALLY GRADED LUMBER."

W5. TIMBER IS TO BE HANDLED AND COVERED TO PREVENT DAMAGE AND MOISTURE ABSORPTION FROM SNOW OR RAIN.

W6. ALL STRUCTURAL WOOD IS TO HAVE THE FOLLOWING MINIMUM DESIGN STRENGTHS AND IS TO HAVE MATERIAL CERTIFICATES AND GRADE STAMPS ATTESTING THEREOF (UNITS IN PSI UNLESS OTHERWISE NOTED):

LOCATION OF USE	Fb	FT	Fv	Fc(parpr.)	Fc(parallel)	E(KSI)	Emin(KSI)
JOISTS/RAFTERS	875	450	135	425	1150	1400	510
WOOD POSTS (NO. 1, DOUGLAS FIR, SOLID TIMBERS)							
	1200	825	170	625	1000	1600	580
BEARING WALL STUDS	675	350	135	425	725	1200	440
LAMINATED VENEER LUMBER (LVL)							
	2600	1895	285	750	2510	2000	1016
PARALLEL STRAND LUMBER (PSL) (POST)							
	2400	1995	190	545	2500	1800	915
PARALLEL STRAND LUMBER (PSL) (BEAM)							
	2900	2300	290	625	2900	2000	1016

W7. WOOD JOISTS:

- SPICES ARE TO OCCUR ONLY OVER/AT BEARING POINTS.
- JOISTS SHALL BE TOE NAILED TO WOOD SUPPORT WITH TWO 10d NAILS OR AS SHOWN ON DRAWINGS.
- MINIMUM BEARING FOR JOISTS = 1 1/2 INCH AT ENDS, AND 3 1/2 INCHES WHERE JOISTS ARE CONTINUOUS.
- USE METAL JOIST HANGERS AT ALL FLUSH FRAME CONDITIONS.
- JOISTS ARE TO BE DOUBLED UNDER PARALLEL PARTITIONS.
- BRIDGING WILL BE SOLID USING 2"x JOIST DEPTH INSTALLED IN OFFSET FASHION. MAXIMUM SPACING = 8 FEET.
- NO JOIST IS TO BE NOTCHED OR DRILLED WITH HOLES WITHOUT PROPER REINFORCEMENT OR UNLESS SPECIFIED BY ENGINEER.
- JOIST SUPPORT SOLELY BY NAILING IS NOT ALLOWED BY CODE.

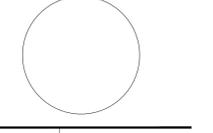
W8. BEAMS AND GIRDERS:

- GIRDERS WILL NOT REST LESS THAN 4" ON SUPPORTS.
- WHERE BEAMS AND GIRDERS OF NOMINAL 2" MEMBERS ARE SHOWN, NAIL WITH TWO ROWS OF 16d NAILS SPACED NOT MORE THAN 24" O.C., LOCATE END JOISTS IN MEMBERS OVER SUPPORTS.
- ALL BEAMS MUST BE SPLICED ONLY OVER SUPPORTS UNLESS SPECIFICALLY INSTRUCTED OTHERWISE BY THE ENGINEER.
- ALL BUILT-UP WOOD BEAMS WIDER THAN 6" AND NAILERS ATTACHED TO STEEL BEAMS ARE TO BE BOLTED WITH 3/4" DIAMETER THROUGH-BOLTS AT 2'-0" O.C. STAGGERED SPACING, UNLESS OTHERWISE NOTED.

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS.
 - DIMENSIONS GOVERN.
 - ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
 - ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY DISCREPANCIES ON DRAWINGS, OR IN THE FIELD, BY THE CONTRACTOR, BEFORE EXECUTING ANY WORK.



PROFESSIONAL SEAL



11/26/25	SCOPE SUBMITTAL
DATE	REMARKS

PROJECT TITLE

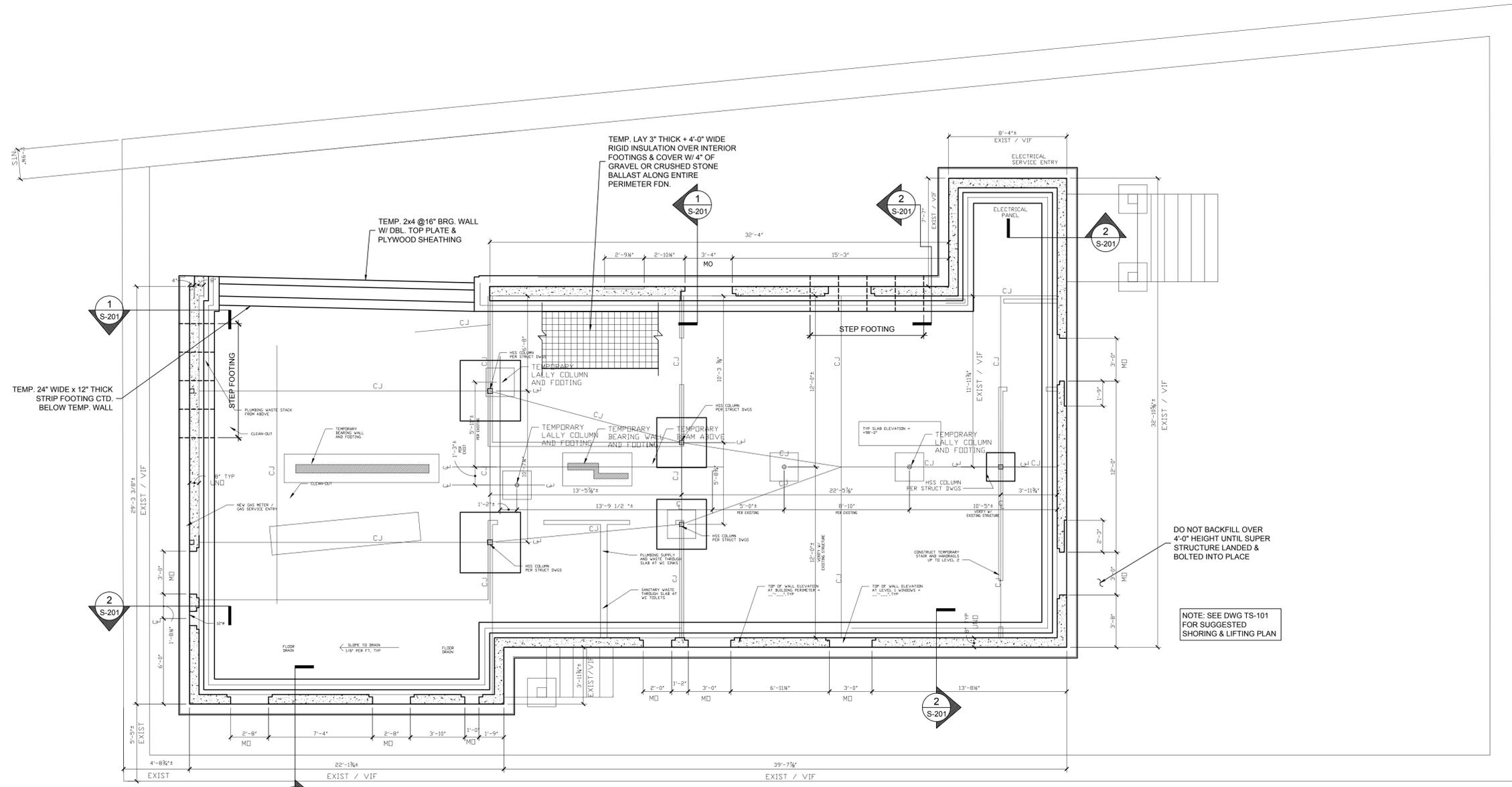
THE W.E.B. DU BOIS CENTER
PHASE 1 B BASEMENT CONSTRUCTION
SCOPE PACKAGE
9 ELM COURT
GREAT BARRINGTON, MA 02130

SHEET TITLE

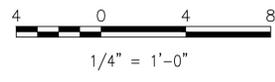
FOUNDATION PLAN

SHEET NUMBER

S-101



FOUNDATION PLAN
1/4" = 1'-0"



NOT FOR CONSTRUCTION

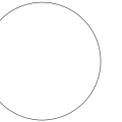


CLARK GREEN + BEK
 ARCHITECTURE DESIGN
BERKSHIRES STUDIO
 113 BRIDGE STREET
 GREAT BARRINGTON, MA 01230
 PHONE + 413 528 5180
NEW YORK STUDIO
 28 WEST 27TH STREET, #703
 NEW YORK, NY 10001
 PHONE + 212 219 9909
CONSULTANTS

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PROFESSIONAL SEAL



DATE	REMARKS
11/26/25	SCOPE SUBMITTAL

PROJECT TITLE

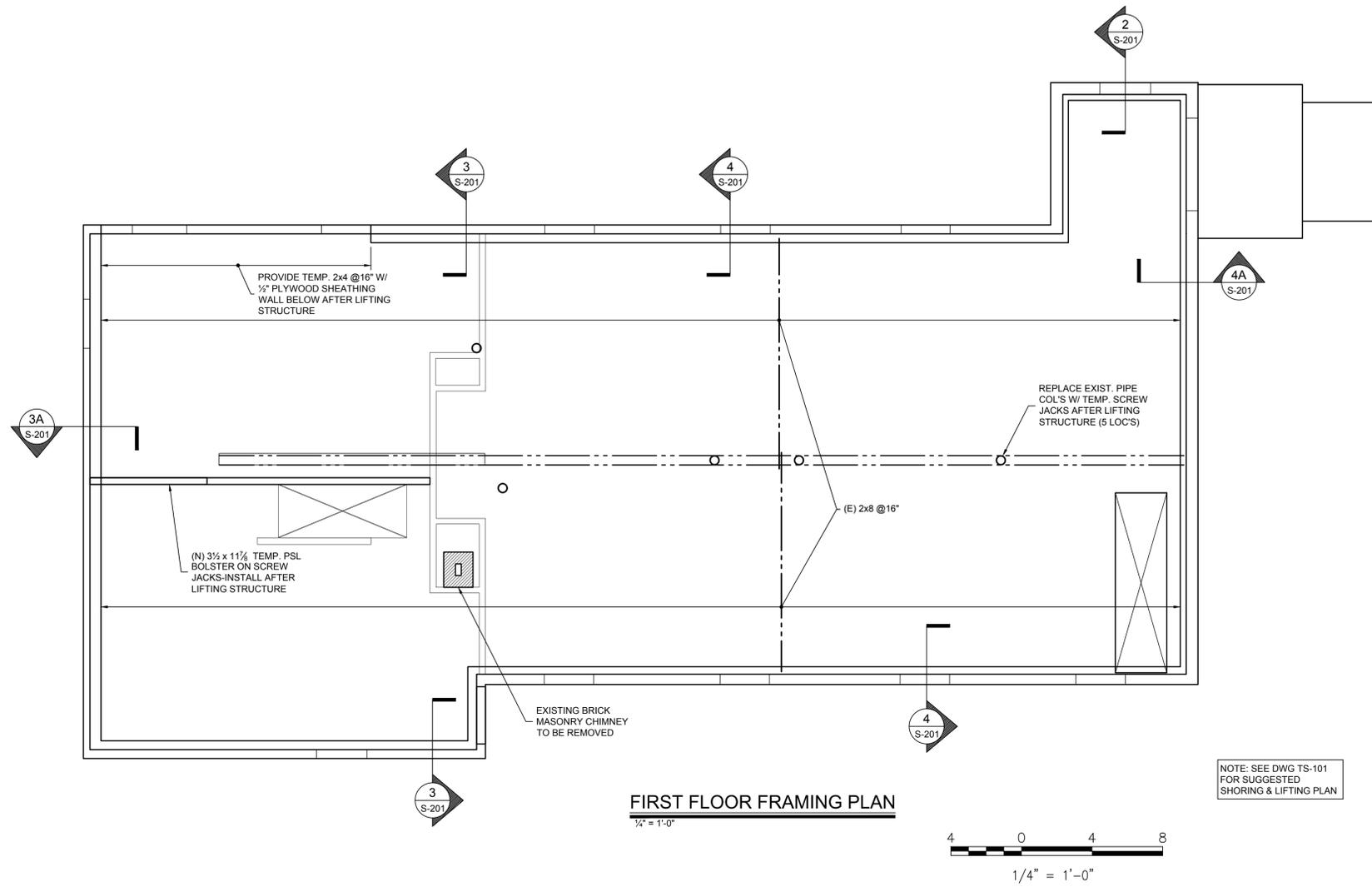
THE W.E.B. DU BOIS CENTER
PHASE 1 B BASEMENT CONSTRUCTION
SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA 02130

SHEET TITLE

FIRST FLOOR FRAMING PLAN

SHEET NUMBER

S-102



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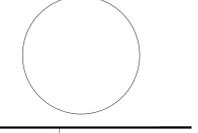
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CONSULTANTS

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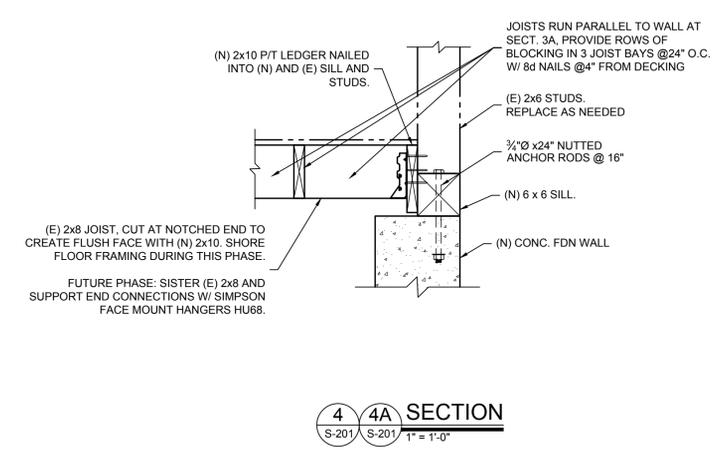
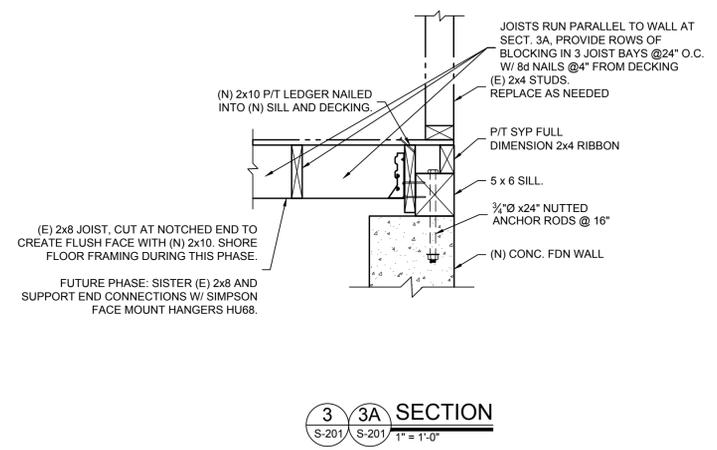
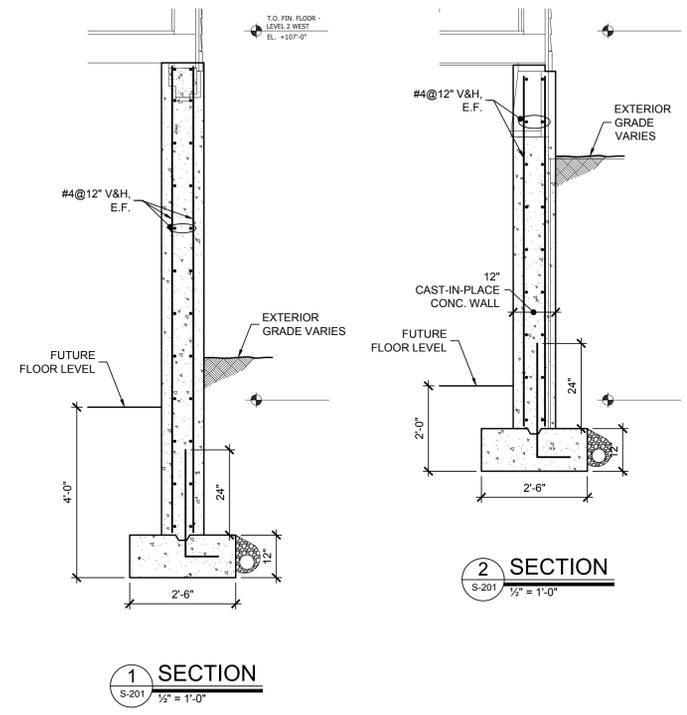
PROFESSIONAL SEAL



11/26/25	SCOPE SUBMITTAL
DATE	REMARKS

PROJECT TITLE

THE W.E.B. DU BOIS CENTER
 PHASE 1 B BASEMENT CONSTRUCTION
 SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA 02130



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SHEET TITLE

SECTIONS

SHEET NUMBER

S-201



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 NEW YORK, NY 10001
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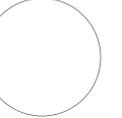
CONSULTANTS

GENERAL NOTES

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PROFESSIONAL SEAL



11/26/25 SCOPE SUBMITTAL

DATE REMARKS

PROJECT TITLE

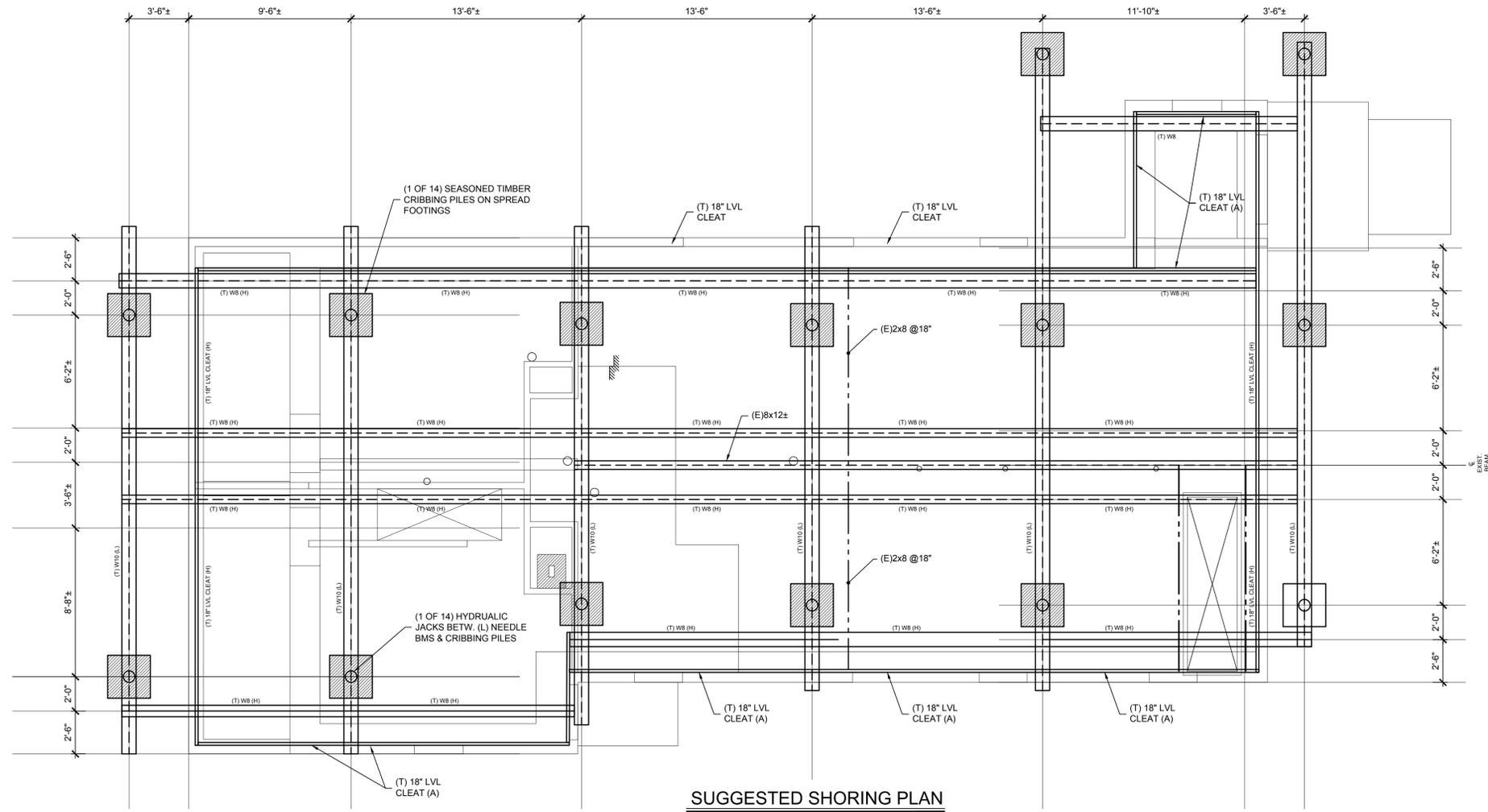
THE W.E.B. DU BOIS CENTER
 PHASE 1 B BASEMENT CONSTRUCTION
 SCOPE PACKAGE
 9 ELM COURT
 GREAT BARRINGTON, MA 02130

SHEET TITLE

SUGGESTED SHORING PLAN

SHEET NUMBER

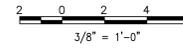
TS-101



SUGGESTED SHORING PLAN

1/2" = 1'-0"

ABBREVIATIONS:
 (E) - EXISTING
 (T) - TEMPORARY
 (L) - LOW (BELOW "H")
 (H) - HIGH (ATOP "L")
 (A) - ABOVE FLOOR (PROVIDE CRIPPLES DOWN TO (L) (H) BEAMS)



NOT FOR CONSTRUCTION

**GREAT BARRINGTON
COMMUNITY PRESERVATION COMMITTEE**

APPLICATION FOR CPA FUNDING – Step 1

Date Received (for office use only) _____

Applicant Name Joshua Risen

Project Name Historic Document Preservation and Digitization

Project Address 334 Main Street Great Barrington

Contact Person Joshua Risen Title: Town Clerk

Phone No. 413-528-1619 ex. 2 then 1 Email jrisen@townofgbma.gov

Brief Project Description (attach up to 1 additional page if necessary)

The restoration, preservation and digitization of the oldest and most at-risk Town documents with an initial focus on the Town's vital records, followed by an expansion into all permanent documents which date back to Great Barrington's incorporation in 1761. On November 3, 2025 I went before the Historical Commission and requested that they designate permanent records stored at Town Hall from 1761 to 1960 as being of Historical Significance. The Historical Commission voted unanimously that the permanent records from 1761 to 1960 were Historically Significant. (See attachment A)

Amount of CPA funding you are seeking: \$ 400,000.00

When do you request the CPA funding be received by your project? 5.15.26

Property Owner (if different from applicant)

Owner's Name Town of Great Barrington

Owner's Address 334 Main Street Great Barrington MA 01230

Phone No. 413-528-1619 Email: jrisen@townofgbma.gov

If Owner is different from applicant, you must include a letter signed by the Owner giving permission to apply for funds for the specified project on the Owner's property.

In the following chart, mark the box(es) that best apply to your project.

Boxes with an X through them are not CPA eligible activities. Contact the Town Planner if you need more information.

	OPEN SPACE	HISTORIC RESOURCES	RECREATIONAL LAND	COMMUNITY HOUSING
Activities (refer to Glossary for definitions)	Land to protect existing and future well fields, aquifers and recharge areas, watershed land, agricultural land, grasslands, fields, forest land, wetland, river, stream, lake and pond frontage, land to protect scenic vistas, land for wildlife or nature preserve, and land for recreation use.	Building, structure, vessel, real property, document or artifact listed on the state register of historic places or determined by the local historic preservation commission to be significant in the history, archeology, architecture or culture of the city or town.	Land for active or passive recreational use including, but not limited to, the use of land for community gardens, trails, and noncommercial youth and adult sports, and the use of land as a park, playground or athletic field. Does not include horse or dog racing or the use of land for a stadium, gymnasium or similar structure.	Housing for low and moderate income individuals and families, including low or moderate income seniors. Moderate income is less than 100%, and low income is less than 80%, of US HUD Area Wide Median Income.
ACQUISITION Obtain property interest by gift, purchase, devise, grant, rental, rental purchase, lease or otherwise. Only includes eminent domain taking as provided by G.L. c. 44B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CREATION To bring into being or cause to exist. <i>Seideman v. City of Newton</i> , 452 Mass. 472 (2008)	<input type="checkbox"/>	X	<input type="checkbox"/>	<input type="checkbox"/>
PRESERVATION Protect personal or real property from injury, harm or destruction	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SUPPORT Provide grants, loans, rental assistance, security deposits, interest-rate write downs or other forms of assistance directly to individuals and families who are eligible for community housing, or to entity that owns, operates or manages such housing, for the purpose of making housing affordable	X	X	X	<input type="checkbox"/>
REHABILITATION AND/OR RESTORATION Make capital improvements, or extraordinary repairs to make assets functional for intended use, including improvements to comply with federal, state or local building or access codes or federal standards for rehabilitation of historic properties	Only applies if property was acquired or created with CPA funds <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Only applies if housing was acquired or created with CPA funds <input type="checkbox"/>

Chart adapted from "Recent Developments in Municipal Law", Massachusetts Department of Revenue, October 2012.

End of Step 1 application

Attachment A

List of Documents with Permanent Retention Designations

This is a list of the types of town documents that are designated with a permanent retention requirement that I am going to prioritize as being first to be preserved.

- 1) Vital Statistics, Birth, Death and Marriage (all official forms related to the registration process);
- 2) Town Meeting Records;
- 3) By-Laws (including written approval of Attorney General);
- 4) Charters, Certificate of Adoption, Preliminary Reports;
- 5) Declarations of Trust;
- 6) Oaths of Office;
- 7) Deeds for Cemetery Lots;
- 8) Voter Records/Registrations;
- 9) Military Records;
- 10) Overseer of the Poor/ Pauper Records (money given to the poor);

Great Barrington Historical Commission

c/o Selectmen's Office
Town Hall
334 Main Street
Great Barrington, MA 01230
Malcolm Fick, Chairman • Malcolm.fick@gmail.com

November 4, 2025

Ms. Karen Smith, Chairperson
Community Preservation Committee
Town of Great Barrington
334 Main Street Great Barrington, MA 01230

RE: Community Preservation Application for Preservation of Town Hall Records

Dear Chairperson Smith and Members of the Community Preservation Committee:

During its meeting on November 3, 2025, the Great Barrington Historical Commission voted that "the town records dating from 1761 to 1960 which are currently stored in various locations in Town Hall, are determined to be historically and culturally significant to the Town of Great Barrington."

In finding the documents significant to the Town, the committee agreed that these are vital, irreplaceable, records for understanding and preserving the history of Great Barrington.

Sincerely,

Malcolm Fick
Chairman

GREAT BARRINGTON COMMUNITY PRESERVATION COMMITTEE

APPLICATION FOR CPA FUNDING – Step 2

Date Received (for office use only) _____

All applicants submitting Step 2 must include a copy of their Step 1 application.

All applicants must answer questions 1-11, and question 19. For question 12-18, only answer questions that are applicable to your CPA area. For example, if your project has to do with Historical Preservation but does not include Housing, then you may skip questions 12, 13 and 14, but you must answer all questions under the subheading “Historical Preservation Projects.”

You may attach additional sheets as necessary to answer the numbered questions, up to a maximum of 8 additional pages of narrative. These additional pages must be formatted with a minimum 11 point font, 1 inch margins. If your project combines two or more CPA priorities, such as Community Housing AND Open Space, then you must answer ALL questions under both of those 2 subheadings and you may include up to 10 additional pages of narrative. (Please note Open Space and Recreation is considered one CPA priority.)

All pages must be numbered. Please number each attached Page 1 of 8, Page 2 of 8, etc. If your answers are on separate sheets, also number each answer so that it corresponds with the number of the question you are answering.

Applicant Name _____

Project Name _____

Project Address _____

Assessor’s Map _____ Lot _____

Property Deed Book / Page _____ / _____

1.) Project Budget (list all sources and uses, including grants, fundraising, etc.)

Total CPA funds requested: \$ _____

Fill in the chart below showing all project sources and uses, including requested CPA funds:

Source Name	Amount	% of total	Used for	Committed?
Total budget:	400,000.00			

Attach additional budget sheets or project budget if necessary. Budget pages do not count towards the 8 page limit. Be sure to include project management, oversight, engineering, and administrative costs that may be incurred. Describe all funding that has been sought and/or is available for this project.

2.) Timing of Funds: Describe when CPA funds and other funding sources are to be received.

3.) Existing use or deed restrictions, permanent easements, historic designations, special permits, etc. if any:

4.) Proposed Use or Deed Restrictions after Project Completion (in accordance with CPA rules):

5.) Describe the project team, including project management personnel, design professionals, contractors, and other applicable consultants, their relevant experience, so forth. Attach additional pages/resumes as needed.

Additional Information: These pages do not count towards the 8 page limit. Attach additional information as appropriate, for example:

- Project timeline;
- Plans or drawings stamped and signed by an Engineer or Architect as appropriate;
- Photographs;
- Map showing project location in town;
- Ownership letters or site control verification;
- Budgets;
- Feasibility studies;

Berkshire Co.

To Jonathan Nash of Great Barrington J^r
County Greeting

By Virtue of an Act of the Great and Gen^l Court of Assembly
of the Province of the Massachusetts Bay - entitled an Act for
"Erecting the North Parish or Precinct of the Town of Sheffield into
"a separate Town by the Name of Great Barrington
We herewith specially empowering.

You are hereby Required in his Majesty's Name
to Notify and Warn the Inhabitants of the same Town
qualified by Law to Vote for Town Meetings That they meet and
Assemble themselves together at the Meeting house for Great
Barrington on Wednesday the 22^d Day of July Instant at four
of the Clock in the Afternoon There and there you shall choose a
Moderator of the same Meeting - 2^d you shall choose all Town
Officers, which in Law Towns for this Province are
or Enjoyed by Law to choose.

Hereof fail not and make due Return of this Warrant
and of your Doings therein unto my self or before the Time
hereby sett for doing the sd Meeting - Held at Great Barrington
- on this 18th Day of July in the first Year of the Reign of
George the Third of Great Britain and of Ireland King
& Defender of the Faith &c Annoq^{ue} Domini 1761

Joseph Dwight

Great Barrington

BIRTHS DEATHS

AND

MARRIAGES

It is remembered that by the Certificate of the Reverend Samuel Griswold dated the 23^d of April 1822 it appears that the said Griswold was in no way joined in marriage in the year preceding the said date of the said Certificate.

At Test
I attest
and no other persons in the Commonwealth of Massachusetts.

At Test
I attest William C. Bryant
Town Clerk of Great Barrington

It is remembered that by the Certificate of the Reverend Elijah White made to me it appears that the following persons were joined in marriage by him in the year preceding the 23^d of April 1821.

Hester Dewey }
with } June 15. 1820
Melinda Kellogg }

Lena Parks }
with } Oct 5. 1820
Emeline Hamilton }

Solomon Atkins }
with } Oct 7. 1820
Nancy Davis }

William Johnson }
with } Nov 23. 1820
Nabby Wilson }

Martin D. Kellogg }
with } Nov 2. 1820
Sally Prindle }

Charles Beach }
with } Jan. 10. 1821
Fanny Ellsworth }

William C. Bryant }
with } Jan. 11. 1820
Annus Prindle }

George P. Enigh }
with } Feb 7. 1821
Elizabeth Prindle }

Anderson Church }
with } Apr. 11. 1821
Sally Peto }

Benoni F. Wells }
with } Apr. 17. 1821
Alma C. Gray }

Erastus Beckwith }
with } Apr. 26. 1821
Martha Wilson }

At Test from the Clergyman
Certificate - I attest Wm. C. Bryant
Town Clerk of St. Barnabass

It is remembered that by the Certificate of the Reverend Samuel Griswold dated the 23^d of April 1822 it appears that the said Griswold did not join any persons in marriage during the year previous to the said date of the said Certificate.

At Test from the Clergyman
Certificate of the said Griswold

I attest Wm. C. Bryant
Clerk of the Town of
Great Barrington

BARRINGTON

DEPOSITION
BIRTHS

287 - 450

TOWN OF
GREAT BARRINGTON



Index
Marriage
Testimony

No. 30

Returned from
by occupation a *Barber*
George J. ...

And *occasional*
She was born in *Slip*
This will be her

The intentions of
of *Great Barrington*
this *8* day of

The parties above
day of

No. 31

Returned from
by occupation a *...*
...

And *...*
She was born in
This will be her

The intentions
of *Great Barrington*
this *14th*

The parties
day of

No. 32

Returned from
by occupation
...

And
She was born
This will be

The
of *...*
this *17*

T
day of

Kenneth Frank Patten
Supt. of Schools

Birth Certificates
Before 1920.

$\frac{P}{15}$

copy of
the
original in the

Birth Certificate.
Great Barrington, Mass.,
that according to the Records of
Great Barrington,
Elizabetha Maude Galliap
December 29, 1914
Clerk, Great Barrington.
Name of father Edward A. Galliap
Name of mother Maude L. Taylor
January

Principal Coach

BIRTHS

1927-1928

TOWN OF
GREAT
BARRINGTON

FORM R-3

CARD

MANENT

CORD

MARGIN RESERVED FOR BINDING
WRITE IN INK ONLY. NO RETURN WITH ERASURES OR ALTERATIONS WILL BE ACCEPTED

The Commonwealth of Massachusetts
OFFICE OF THE SECRETARY
DIVISION OF VITAL STATISTICS

1 PLACE OF BIRTH
County of Essex City or Town of Andover

2 FULL NAME OF CHILD Joseph Oleander

3 Sex of Child Male 4 Twin, triplet or other? 1 5 Born alive or stillborn born 6 Date of birth Jan 1 - 27

7 FATHER FULL NAME Joseph Oleander 8 MOTHER PRESENT NAME AND MAIDEN NAME Josephine Oleander / Josephine Jacowarski

9 RESIDENCE NO. High St. Horsaloune, Mass 10 RESIDENCE NO. High St. Horsaloune, Mass

11 COLOR OR RACE White AGE 34 YEARS 12 COLOR OR RACE White AGE 32 YEARS

13 BIRTHPLACE Poland (City or town) (State or country) 14 BIRTHPLACE Poland (City or town) (State or country)

15 OCCUPATION Carver - Cigar Mfg 16 OCCUPATION Wife - w/o

17 Signature of Attendant at birth W. H. ... (Name) Physician (Physician, parent or other, etc)
Address No. 36 Main St. Horsaloune (City or town)
Dated Jan 2 27 (Month) (Day) (Year) Did above-named personally attend the birth? Yes

18 Received at office of city or town clerk (Month) (Day) (Year)

19 A true copy. Attest: [Signature] REGISTRAR

202-554-2 on 5/11/2014 3 1327

1928

- Existing conditions reports or needs assessments;
- Letters of support;
- Resumes and experience of key personnel;
- For Historic Preservation projects, if the project is not State Register-listed, the applicant must provide a letter from the Historical Commission which details the significance of the project to Great Barrington's history, culture, architecture or archeology.

Funding Considerations

6.) Consistency: Describe how the proposed project is consistent with the Community Preservation Plan and with the Great Barrington Master Plan.

7.) Town Projects: Is the proposed project for a town-owned asset? Yes No
If yes, please describe funding options. For example, what portion of the project budget is CPA funding? If CPA funds are not received, what are the alternative funding options, if any?

8.) Public Benefits: Describe the public benefits of the project.

9.) Leverage: Will the CPA funds be used to leverage or supplement other funding for this project? Please explain other sources and whether they have been committed.

10.) Community Input and Support: Describe any community input, meetings and/or support that you have for your proposed project. Include support letters as applicable (they will not be counted towards the 4-page limit). Letters should be unique and not reproduced form letters.

11.) Permits: Describe permits that may be required, the status of those permits or applications, and/or when the applications will be submitted and permits received.

Affordable Housing Projects

12.) Affordable Housing Projects: Clearly describe how the project meets the Affordable Housing goals of the Community Preservation Plan.

13.) Affordability Level(s):

_____ % of area median income	no. of units _____
_____ % of area median income	no. of units _____
_____ % of area median income	no. of units _____

14.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation?

Historic Preservation Projects

Applicants should note: all CPA-funded historic preservation projects must comply with the US Secretary of the Interior's standards for the treatment of historic properties.

15.) Historic Preservation Projects: Clearly describe how the project meets the Historic Preservation goals of the Community Preservation Plan.

16.) Other Information: Describe any other relevant information about the project and the site. For example: is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site; is the site or could the site be contaminated and if so what is the plan for remediation.

Open Space and Recreation Projects

17.) Open Space and Recreation: Clearly describe how the project meets the Open Space and Recreation goals of the Community Preservation Plan.

18.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals? Does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation.

Certification

19.) This application was prepared, reviewed, and submitted by:

Name: _____

Ph: _____ Email _____

I hereby certify that all of the above and included information is true and correct to the best of my knowledge. [For non-municipal applicants only: I further declare my willingness to enter into a Contract with the Town of Great Barrington to govern the use and expenditure of CPA funds.]

Signature: _____ *Joshua Rison* _____

Date: _____ 12.2.25 _____

All hard copies of the entire application package, and one PDF of the entire application package, are due prior to the 4:00 PM deadline.

Number all pages.

Joshua Risen
Town Clerk

E-mail: jrisen@townofgb.org
www.townofgbma.gov



Town Hall, 334 Main Street
Great Barrington, MA 01230

Telephone: (413) 528-1619 x2 then 1
Fax: (413) 528-1026

TOWN OF GREAT BARRINGTON MASSACHUSETTS

OFFICE OF THE TOWN CLERK

Addendum to the Great Barrington Community Preservation Committee Application for CPA Funding Historic Document Preservation and Digitization

The Town of Great Barrington is requesting funding to initiate a multi-year project to preserve and digitize historically significant municipal records in order to comply with Massachusetts law. The first \$50,000.00 dollars of the funds will be used to retain a qualified archival and records-management firm to conduct an assessment and to provide recommendations.

The first phase of this project will be a comprehensive evaluation of all of the documents held within the storage areas in Town Hall located at 334 Main Street Great Barrington MA. A goal of the assessment will be to develop a detailed phased plan for how to preserve and digitize the permanent records.

Phase one will entail contracting a qualified archival and records-management firm with the Town to evaluate each document and its corresponding retention requirements under the Municipal Records Retention Schedule. If it is determined that a given record does not require preservation and/or retention pursuant to applicable law under the Retention Schedule, it will be segregated for destruction or removal.

During Phase one, the qualified archival and records-management firm shall establish a new organizational plan on how to organize and manage the entire record collection. As part of this organizational plan, the following information shall be determined:

- 1) A plan on how to organize the retained documents (i.e. a map of where various types of records will be stored);
- 2) A plan to purchase new storage shelving and containers;
- 3) Rules and policies shall be adopted as to how new documents will be added into the collection of the retained older documents.

Once a comprehensive list of what documents are to be persevered and digitized is established, the vender will provide their expert opinion on which documents are to be prioritized for preservation and digitization.

Additional future phases, subject to additional funding, will address the following:

- 1) Restructuring the physical storage areas to accommodate and properly store the preserved documents.
- 2) Installation of environmental controls to preserve the documents.
- 3) Contracting with a vender to actually perform the work of preserving the documents and digitizing them.

Sincerely,

A handwritten signature in black ink, appearing to read "Joshua Risen". The signature is written in a cursive style with a long, sweeping flourish extending from the end of the name.

Joshua Risen,
Town Clerk

GREAT BARRINGTON COMMUNITY PRESERVATION COMMITTEE

APPLICATION FOR CPA FUNDING – Step 2

Date Received (for office use only) _____

All applicants submitting Step 2 must include a copy of their Step 1 application.

All applicants must answer questions 1-11, and question 19. For question 12-18, only answer questions that are applicable to your CPA area. For example, if your project has to do with Historical Preservation but does not include Housing, then you may skip questions 12, 13 and 14, but you must answer all questions under the subheading "Historical Preservation Projects."

You may attach additional sheets as necessary to answer the numbered questions, up to a maximum of 8 additional pages of narrative. These additional pages must be formatted with a minimum 11 point font, 1 inch margins. If your project combines two or more CPA priorities, such as Community Housing AND Open Space, then you must answer ALL questions under both of those 2 subheadings and you may include up to 10 additional pages of narrative. (Please note Open Space and Recreation is considered one CPA priority.)

All pages must be numbered. Please number each attached Page 1 of 8, Page 2 of 8, etc. If your answers are on separate sheets, also number each answer so that it corresponds with the number of the question you are answering.

Applicant Name Town of Great Barrington Cemetery Commission / DPW

Project Name Cemetery Monument Resetting Phase 1

Project Address Elmwood Cemetery, 90 Stockbridge Road

Assessor's Map 37 & 12 Lot 37-18-0 & 12-46-0

Property Deed Book / Page _____ / _____

1.) Project Budget (list all sources and uses, including grants, fundraising, etc.)

Total CPA funds requested: \$ 75,000

Fill in the chart below showing all project sources and uses, including requested CPA funds:

Source Name	Amount	% of total	Used for	Committed?
CPA	\$75,000	100%	Procurement & Monument Resetting	
Total budget:		\$75,000		

Attach additional budget sheets or project budget if necessary. Budget pages do not count towards the 8 page limit. Be sure to include project management, oversight, engineering, and administrative costs that may be incurred. Describe all funding that has been sought and/or is available for this project.

2.) Timing of Funds: Describe when CPA funds and other funding sources are to be received.
July 1st, 2026

3.) Existing use or deed restrictions, permanent easements, historic designations, special permits, etc. if any:
none

4.) Proposed Use or Deed Restrictions after Project Completion (in accordance with CPA rules):
none

5.) Describe the project team, including project management personnel, design professionals, contractors, and other applicable consultants, their relevant experience, so forth. Attach additional pages/resumes as needed.

Cemetery Commission, DPW Building & Grounds & Low Bid Contractor

Additional Information: These pages do not count towards the 8 page limit. Attach additional information as appropriate, for example:

- Project timeline;
- Plans or drawings stamped and signed by an Engineer or Architect as appropriate;
- Photographs;
- Map showing project location in town;
- Ownership letters or site control verification;
- Budgets;
- Feasibility studies;

- Existing conditions reports or needs assessments;
- Letters of support;
- Resumes and experience of key personnel;
- For Historic Preservation projects, if the project is not State Register-listed, the applicant must provide a letter from the Historical Commission which details the significance of the project to Great Barrington's history, culture, architecture or archeology.

Funding Considerations

6.) Consistency: Describe how the proposed project is consistent with the Community Preservation Plan and with the Great Barrington Master Plan.

The Elmwood Cemetery has been declared as having historical significance by the Great Barrington Historic Commission. Preserving the deteriorating monuments will preserve them for future generations.

7.) Town Projects: Is the proposed project for a town-owned asset? Yes No
If yes, please describe funding options. For example, what portion of the project budget is CPA funding? If CPA funds are not received, what are the alternative funding options, if any?

The town's current budget situation does not have funding available to perform this historic preservation project. If CPA funds are not received the project will not be under taken.

8.) Public Benefits: Describe the public benefits of the project.

This project will preserve the historic significance of many monuments at the Elmwood Cemetery.

9.) Leverage: Will the CPA funds be used to leverage or supplement other funding for this project? Please explain other sources and whether they have been committed.

No.

10.) Community Input and Support: Describe any community input, meetings and/or support that you have for your proposed project. Include support letters as applicable (they will not be counted towards the 4-page limit). Letters should be unique and not reproduced form letters.

The Cemetery Commission has initiated this request. This Historic Commission has voted to recognize the Elmwood Cemetery as having historic significance.

11.) Permits: Describe permits that may be required, the status of those permits or applications, and/or when the applications will be submitted and permits received.

None

Affordable Housing Projects

12.) Affordable Housing Projects: Clearly describe how the project meets the Affordable Housing goals of the Community Preservation Plan.

n/a

13.) Affordability Level(s):

<u>n/a</u> _____ % of area median income	no. of units _____
<u>n/a</u> _____ % of area median income	no. of units _____
<u>n/a</u> _____ % of area median income	no. of units _____

14.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation?

None

Historic Preservation Projects

Applicants should note: all CPA-funded historic preservation projects must comply with the US Secretary of the Interior's standards for the treatment of historic properties.

15.) Historic Preservation Projects: Clearly describe how the project meets the Historic Preservation goals of the Community Preservation Plan.

The Historic Commission has determined the Elmwood Cemetery as having historic significance to the town. This project will involve correcting 20-25 of the 8 monuments that have fallen over, 40 monuments that are leaning heavily ready to topple. The exact number of monuments to be corrected will depend on the results of the bidding process.

16.) Other Information: Describe any other relevant information about the project and the site. For example: is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site; is the site or could the site be contaminated and if so what is the plan for remediation.

None

Open Space and Recreation Projects

17.) Open Space and Recreation: Clearly describe how the project meets the Open Space and Recreation goals of the Community Preservation Plan.

n/a

18.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals? Does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation.

Certification

19.) This application was prepared, reviewed, and submitted by:

Name: Water Atwood / Joe Aberdale

Ph: 413-717-8603 Email jaberdale@townofgb.org

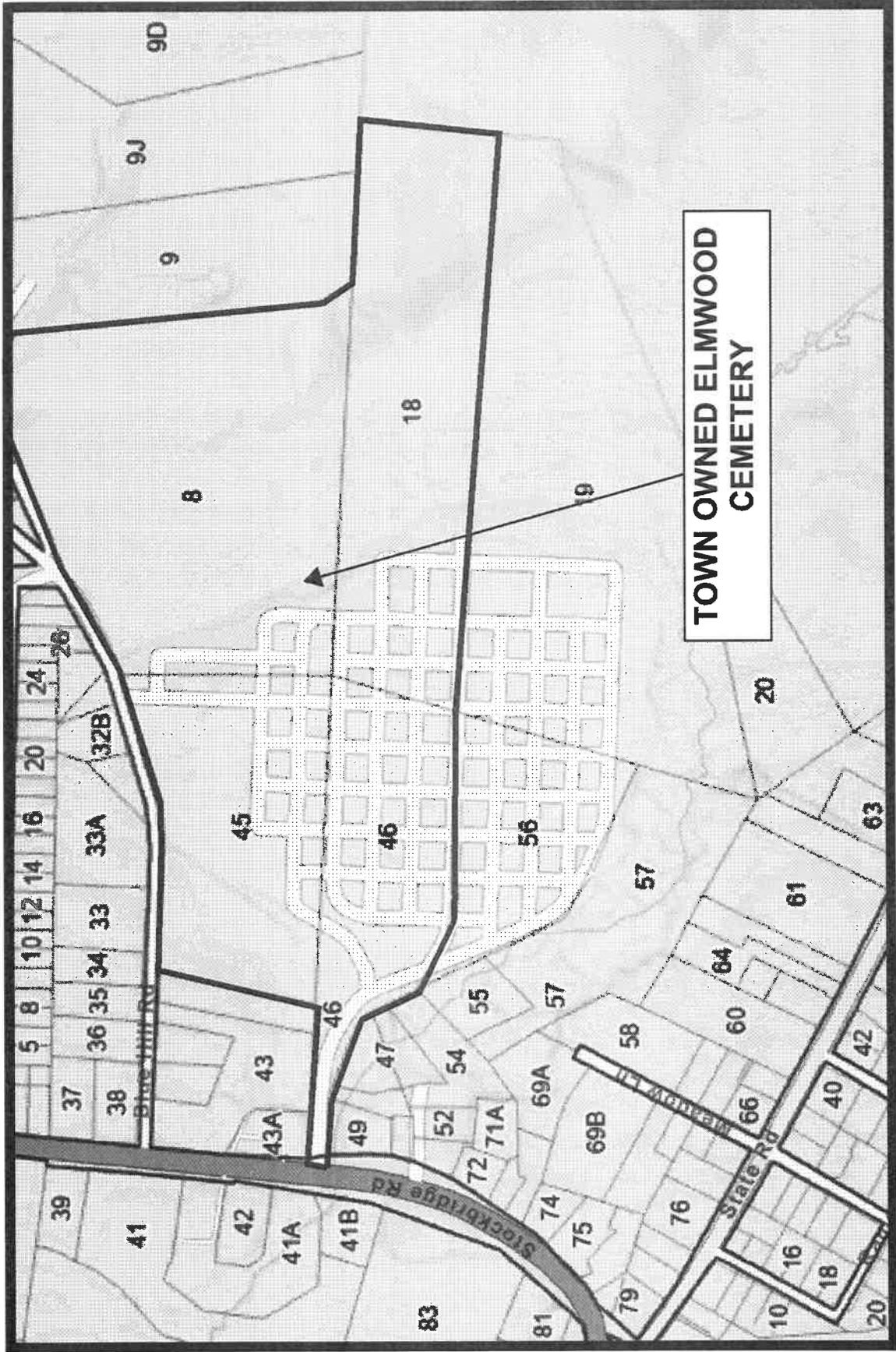
I hereby certify that all of the above and included information is true and correct to the best of my knowledge. [For non-municipal applicants only: I further declare my willingness to enter into a Contract with the Town of Great Barrington to govern the use and expenditure of CPA funds.]

Signature: _____

Date: 12/3/25

All hard copies of the entire application package, and one PDF of the entire application package, are due prior to the 4:00 PM deadline.

Number all pages.



**TOWN OWNED ELMWOOD
CEMETERY**

LOCATION PLAN



CAI Property Card

Town of Great Barrington, MA

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: 90 STOCKBRIDGE RD ACRES: 8.19 PARCEL ID: 012.0-0000-0046.0 LAND USE CODE: 931 CONDO COMPLEX: OWNER: TOWN OF GREAT BARRINGTON CO - OWNER: ELMWOOD CEMETERY MAILING ADDRESS: 334 MAIN ST RM 208 GT BARRINGTON, MA 01230-1832 ZONING: R2 PATRIOT ACCOUNT #: 862	BUILDING STYLE: UNITS: 0 YEAR BUILT: FRAME: EXTERIOR WALL COVER: ROOF STYLE: ROOF COVER:
	BUILDING INTERIOR
SALE INFORMATION SALE DATE: BOOK & PAGE: SALE PRICE: SALE DESCRIPTION: SELLER:	INTERIOR WALL: FLOOR COVER: HEAT TYPE: FUEL TYPE: PERCENT A/C: # OF ROOMS: 0 # OF BEDROOMS: 0 # OF FULL BATHS: 0 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 0 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES:
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 0 FINISHED BUILDING AREA: 0 BASEMENT AREA: 0 # OF PRINCIPAL BUILDINGS: 0	
ASSESSED VALUES	
LAND: 167,100 YARD: 21,700 BUILDING: 0 TOTAL: \$188,800	
SKETCH	PHOTO
<p style="text-align: center;">NO SKETCH AVAILABLE</p>	<p style="text-align: center;">NO PHOTO AVAILABLE</p>





CAI Property Card

Town of Great Barrington, MA

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
LOCATION: BLUE HILL RD ACRES: 14.31 PARCEL ID: 037.0-0000-0018.0 LAND USE CODE: 903 CONDO COMPLEX: OWNER: CEMETERY CO - OWNER: MAILING ADDRESS: ZONING: R2 PATRIOT ACCOUNT #: 3724	BUILDING STYLE: UNITS: 0 YEAR BUILT: FRAME: EXTERIOR WALL COVER: ROOF STYLE: ROOF COVER:
SALE INFORMATION	BUILDING INTERIOR
SALE DATE: BOOK & PAGE: SALE PRICE: SALE DESCRIPTION: SELLER:	INTERIOR WALL: FLOOR COVER: HEAT TYPE: FUEL TYPE: PERCENT A/C: # OF ROOMS: 0 # OF BEDROOMS: 0 # OF FULL BATHS: 0 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 0 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES:
PRINCIPAL BUILDING AREAS	
GROSS BUILDING AREA: 0 FINISHED BUILDING AREA: 0 BASEMENT AREA: 0 # OF PRINCIPAL BUILDINGS: 0	
ASSESSED VALUES	
LAND: 151,400 YARD: 0 BUILDING: 0 TOTAL: \$151,400	
SKETCH	PHOTO
<p>NO SKETCH AVAILABLE</p>	<p>NO PHOTO AVAILABLE</p>

ELMWOOD CEMETERY TIME LINE

	Jul-26	Aug-26	Sep-26	Oct-26	Nov-26	Dec-26	2027	Apr-27	May-27	Jun-27	Jul-27	Aug-27	Sep-27	Oct-27
CPA Funds Available	█													
RFP Creation		█												
Procurement				█										
Contract Award					█									
Monument Preservation						█								

BUDGET ESTIMATE MONUMENT SETTING

Labor

Mason	30	\$ 135.00	/hr	\$ 4,050.00
Operator	30	\$ 140.00	/hr	\$ 4,200.00

Equipment

Mini Excavator	30	\$ 85.00	/hr	\$ 2,550.00
Single Axle	30	\$ 75.00	/hr	\$ 2,250.00
Monument Wagon	30	\$ 65.00	/hr	\$ 1,950.00

Materials

Allowance per Monument	10	\$ 250.00	/monument	\$ 2,500.00
------------------------	----	-----------	-----------	-------------

Sub-Total for 10 Monuments: \$ 17,500.00

15% Allowance: \$ 2,625.00

Total for 10 Monuments: \$ 20,125.00

Estimate per Monument: \$ 2,012.50

Design & RFP Package	\$ 12,500.00
Procurement	\$ 5,500.00
Monument Resetting	\$ 40,250.00
Restoration & Preservation Oversight	\$ 5,000.00

Sub-Total: \$ 63,250.00

Contingency \$ 9,487.50

Estimated Total: \$ 72,737.50

Great Barrington Historical Commission

c/o Selectmen's Office

Town Hall

334 Main Street

Great Barrington, MA 01230

Malcom Fick, Chairman • 413-645-3060 • Malcolm.fick@gmail.com

November 19, 2025

Ms. Karen Smith, Chairperson
Community Preservation Committee
Town of Great Barrington
334 Main Street Great Barrington, MA 01230

RE: Community Preservation Application for Elmwood Cemetery

Dear Chairperson Smith and Members of the Community Preservation Committee:

During its meeting on August 18, 2022, the Great Barrington Historical Commission voted that "the Elmwood Cemetery is determined to be culturally and historically significant to the Town of Great Barrington" and thus qualifies for CPA historical consideration.

Sincerely,

Malcolm Fick
Chairman

Historical Commission Meeting Minutes – Draft

DATE: November 18, 2025

TIME: 5:00 P.M.

PLACE: via Zoom

MEMBERS PRESENT: Gary Leveille, Malcolm Fick, James Mercer, Abby Schroeder, Carrie Chen

MEMBERS NOT PRESENT: Marilyn Bisiewicz

1. Chairperson Fick called the meeting to order at 5:00 pm.

2. New Business

- Mr. Fick presented a request from DPW to determine if the Water Street Cemetery is of architectural, cultural, or historical significance to the Town for CPA purposes. Gary Leveille pointed to the origin of the cemetery in the 18th Century and the many historical figures buried there.

Mr. Mercer moved that the Water Street Cemetery is determined to be of historical and cultural significance to the Town of Great Barrington. Ms. Schroeder seconded the motion. All voted to approve.

- Mr. Fick presented a request from DPW to determine if the Elmwood Cemetery is of architectural, cultural, or historical significance to the Town for CPA purposes. Mr. Fick said following the 19th Century founding of the cemetery, many famous residents were buried there, including forty nine civil war veterans and other prominent Town citizens.

Ms. Schroeder moved that the Elmwood Cemetery is determined to be of historical and cultural significance to the Town of Great Barrington. Ms. Schroeder seconded the motion. All voted to approve.

3. Other Member Issues

- Mr. Mercer reported that he had an bid for the metal Trolley Shelter sign. Mr. Fick said he would forward the bid to the Town to obtain a purchase order. Mr. Mercer expects a bid for the graphics within a week or two.

4. Citizen's Speak

- Ms. Ruby Chang appealed to the Historical Commission for support of the Ramsdell Library project, emphasizing the historical character of the building and its sad condition.

5. Next Meeting Date – Monday, January 6, 2026, at 5:00 pm at a site to be determined.

6. Adjourn – Without objection, Mr. Fick adjourned the meeting at 5:20 pm.

Historical Commission Minutes –November 18, 2025

Respectfully submitted,

Malcolm Fick
Chair





16







19

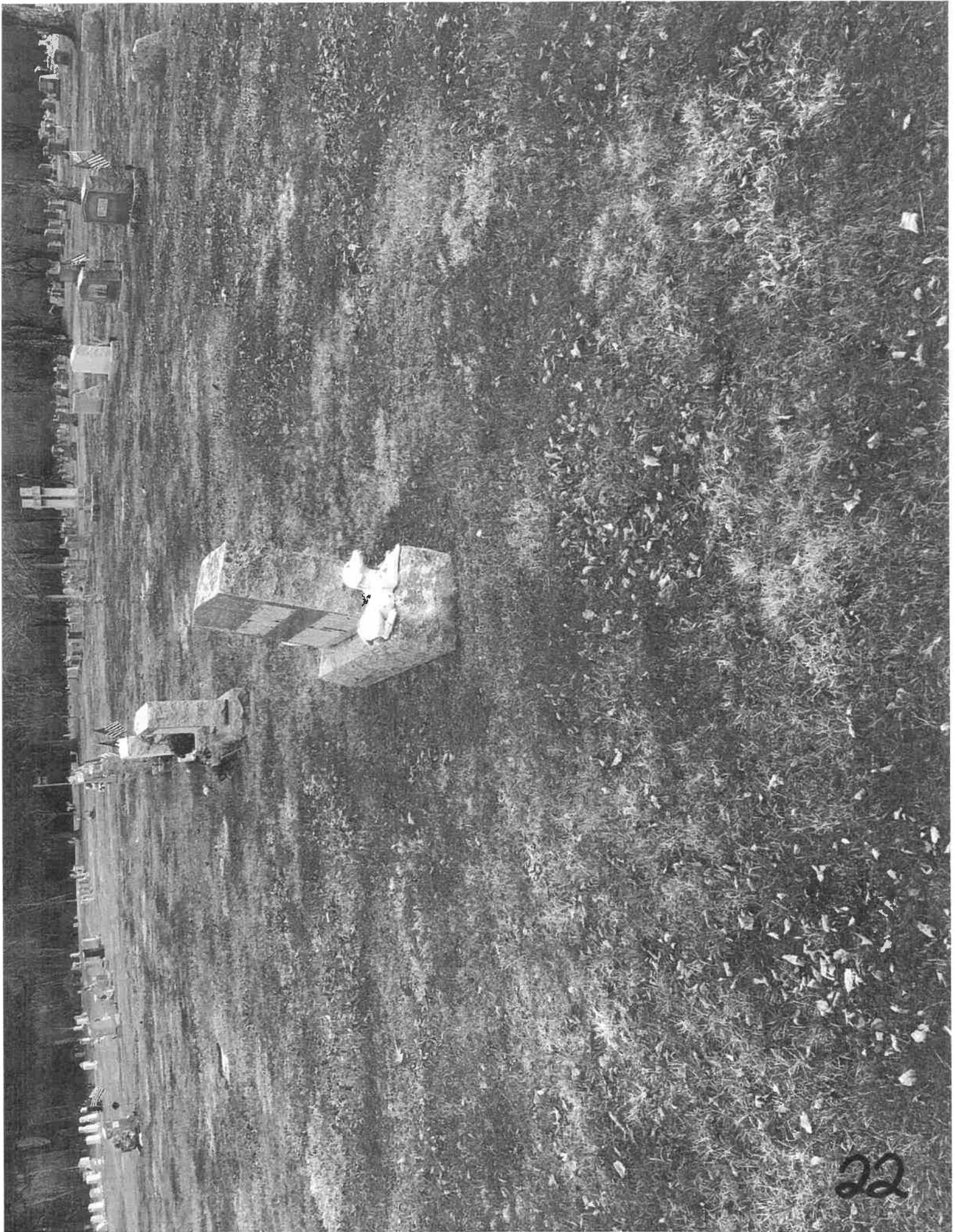




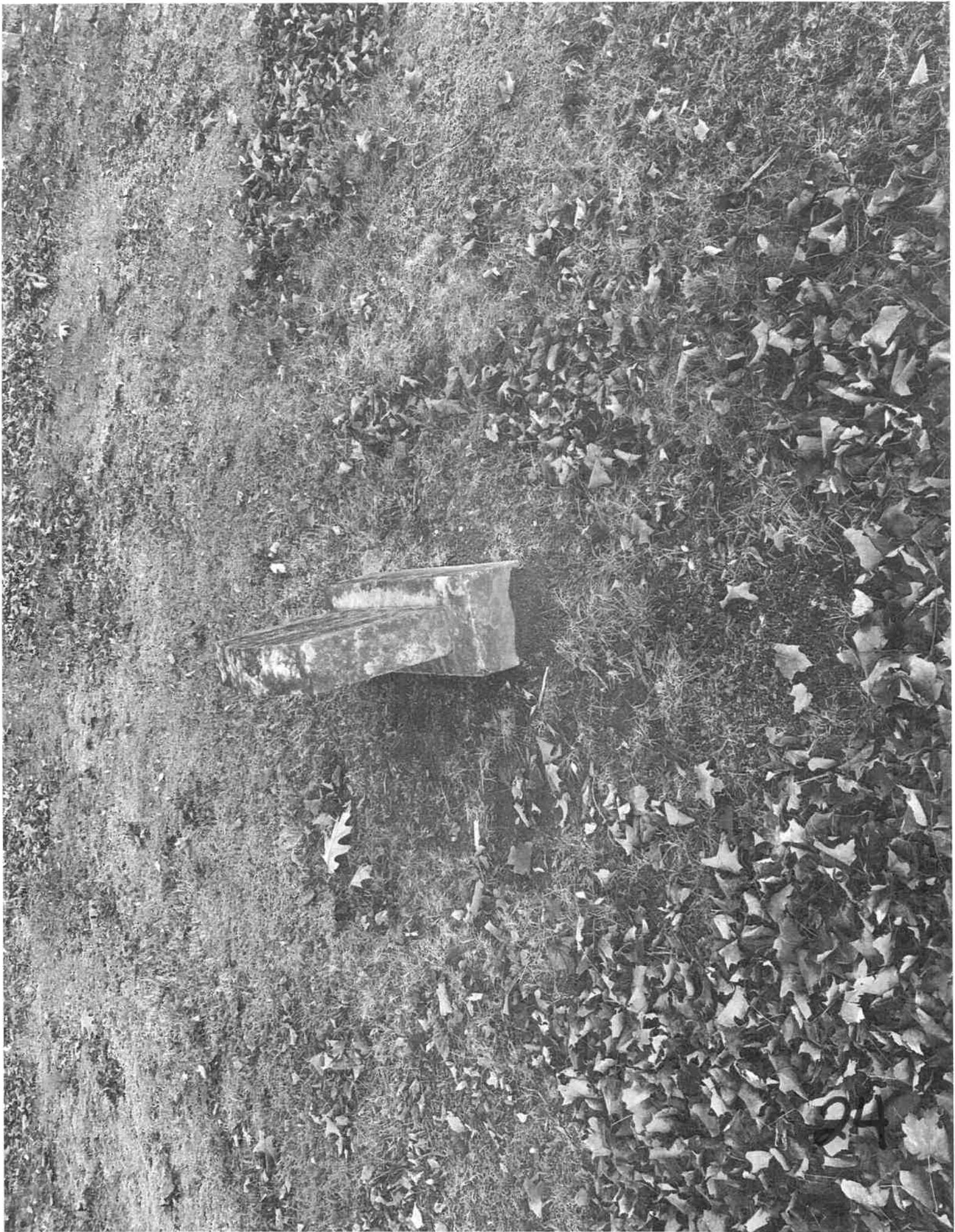
WHITEBECK

1889 LARA WHITEBECK 1911
THIS WIFE
OF ABLE M. PATTERSON 1908











25



26

GREAT BARRINGTON COMMUNITY PRESERVATION COMMITTEE

APPLICATION FOR CPA FUNDING – Step 2

Date Received (for office use only) _____

All applicants submitting Step 2 must include a copy of their Step 1 application.

All applicants must answer questions 1-11, and question 19. For question 12-18, only answer questions that are applicable to your CPA area. For example, if your project has to do with Historical Preservation but does not include Housing, then you may skip questions 12, 13 and 14, but you must answer all questions under the subheading "Historical Preservation Projects."

You may attach additional sheets as necessary to answer the numbered questions, up to a maximum of 8 additional pages of narrative. These additional pages must be formatted with a minimum 11 point font, 1 inch margins. If your project combines two or more CPA priorities, such as Community Housing AND Open Space, then you must answer ALL questions under both of those 2 subheadings and you may include up to 10 additional pages of narrative. (Please note Open Space and Recreation is considered one CPA priority.)

All pages must be numbered. Please number each attached Page 1 of 8, Page 2 of 8, etc. If your answers are on separate sheets, also number each answer so that it corresponds with the number of the question you are answering.

Applicant Name Town of Great Barrington Cemetery Commission / DPW

Project Name Brown Mausoleum Roof

Project Address Mahiawe Cemetery 9 Silver Street, Great Barrington

Assessor's Map 24 Lot 24-8-0

Property Deed Book / Page _____ / _____

1.) Project Budget (list all sources and uses, including grants, fundraising, etc.)

Total CPA funds requested: \$ \$91,000

Fill in the chart below showing all project sources and uses, including requested CPA funds:

Source Name	Amount	% of total	Used for	Committed?
CPA	\$91,000	100%	Procurement & Roof Restoration	
Total budget:		\$91,000		

Attach additional budget sheets or project budget if necessary. Budget pages do not count towards the 8 page limit. Be sure to include project management, oversight, engineering, and administrative costs that may be incurred. Describe all funding that has been sought and/or is available for this project.

2.) Timing of Funds: Describe when CPA funds and other funding sources are to be received.

July 1, 2026

3.) Existing use or deed restrictions, permanent easements, historic designations, special permits, etc. if any:

None

4.) Proposed Use or Deed Restrictions after Project Completion (in accordance with CPA rules):

None

5.) Describe the project team, including project management personnel, design professionals, contractors, and other applicable consultants, their relevant experience, so forth. Attach additional pages/resumes as needed.

Cemetery Commission, DPW Building & Grounds & Low Bid Contractor

Additional Information: These pages do not count towards the 8 page limit. Attach additional information as appropriate, for example:

- Project timeline;
- Plans or drawings stamped and signed by an Engineer or Architect as appropriate;
- Photographs;
- Map showing project location in town;
- Ownership letters or site control verification;
- Budgets;
- Feasibility studies;

- Existing conditions reports or needs assessments;
- Letters of support;
- Resumes and experience of key personnel;
- For Historic Preservation projects, if the project is not State Register-listed, the applicant must provide a letter from the Historical Commission which details the significance of the project to Great Barrington’s history, culture, architecture or archeology.

Funding Considerations

6.) Consistency: Describe how the proposed project is consistent with the Community Preservation Plan and with the Great Barrington Master Plan.

The Mahiawe Cemetery is the burial site for the family of civil rights leader W.E.B. DuBois. Preserving the Brown Mausoleum would preserve the historic significance of this cemetery. The Brown Mausoleum has no remaining beneficiaries as determined by the Great Barrington Historic Commission. With no living family members the Town of GB has been performing necessary repairs. In addition, the space in the mausoleum can be used for remains of unclaimed GB resident remains.

7.) Town Projects: Is the proposed project for a town-owned asset? Yes No

If yes, please describe funding options. For example, what portion of the project budget is CPA funding? If CPA funds are not received, what are the alternative funding options, if any?

The Brown Mausoleum has no remaining beneficiaries as determined by the Great Barrington Historic Commission.

8.) Public Benefits: Describe the public benefits of the project.

The Mahiawe Cemetery is the burial site for the family of civil rights leader W.E.B. DuBois. Preserving the Brown Mausoleum would preserve the historic significance of this cemetery.

9.) Leverage: Will the CPA funds be used to leverage or supplement other funding for this project? Please explain other sources and whether they have been committed.

No

10.) Community Input and Support: Describe any community input, meetings and/or support that you have for your proposed project. Include support letters as applicable (they will not be counted towards the 4-page limit). Letters should be unique and not reproduced form letters.

The Cemetery Commission has initiated this request. This Historic Commission has supported the preservation.

11.) Permits: Describe permits that may be required, the status of those permits or applications, and/or when the applications will be submitted and permits received.

Building Permit

Affordable Housing Projects

12.) Affordable Housing Projects: Clearly describe how the project meets the Affordable Housing goals of the Community Preservation Plan.

N/A - except for unclaimed remains

13.) Affordability Level(s):

<u>n/a</u> _____ % of area median income	no. of units _____
<u>n/a</u> _____ % of area median income	no. of units _____
<u>n/a</u> _____ % of area median income	no. of units _____

14.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation?

None

Historic Preservation Projects

Applicants should note: all CPA-funded historic preservation projects must comply with the US Secretary of the Interior's standards for the treatment of historic properties.

15.) Historic Preservation Projects: Clearly describe how the project meets the Historic Preservation goals of the Community Preservation Plan.

The Mahiawe Cemetery is the burial site for the family of civil rights leader W.E.B. DuBois. Preserving the Brown Mausoleum would preserve the historic significance of this cemetery.

16.) Other Information: Describe any other relevant information about the project and the site. For example: is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site; is the site or could the site be contaminated and if so what is the plan for remediation.

none

Open Space and Recreation Projects

17.) Open Space and Recreation: Clearly describe how the project meets the Open Space and Recreation goals of the Community Preservation Plan.

N/A

18.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals? Does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation.

N/A

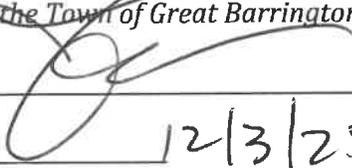
Certification

19.) This application was prepared, reviewed, and submitted by:

Name: Water Atwood / Joe Aberdale

Ph: 413-717-8603 Email jaberdale@townofgb.org

I hereby certify that all of the above and included information is true and correct to the best of my knowledge. [For non-municipal applicants only: I further declare my willingness to enter into a Contract with the Town of Great Barrington to govern the use and expenditure of CPA funds.]

Signature: 

Date: 12/3/25

All hard copies of the entire application package, and one PDF of the entire application package, are due prior to the 4:00 PM deadline.

Number all pages.



**BROWN
MAUSOLEUM**

**MAHIAWE CEMETERY LOCATION
PLAN**

CAI Property Card

Town of Great Barrington, MA



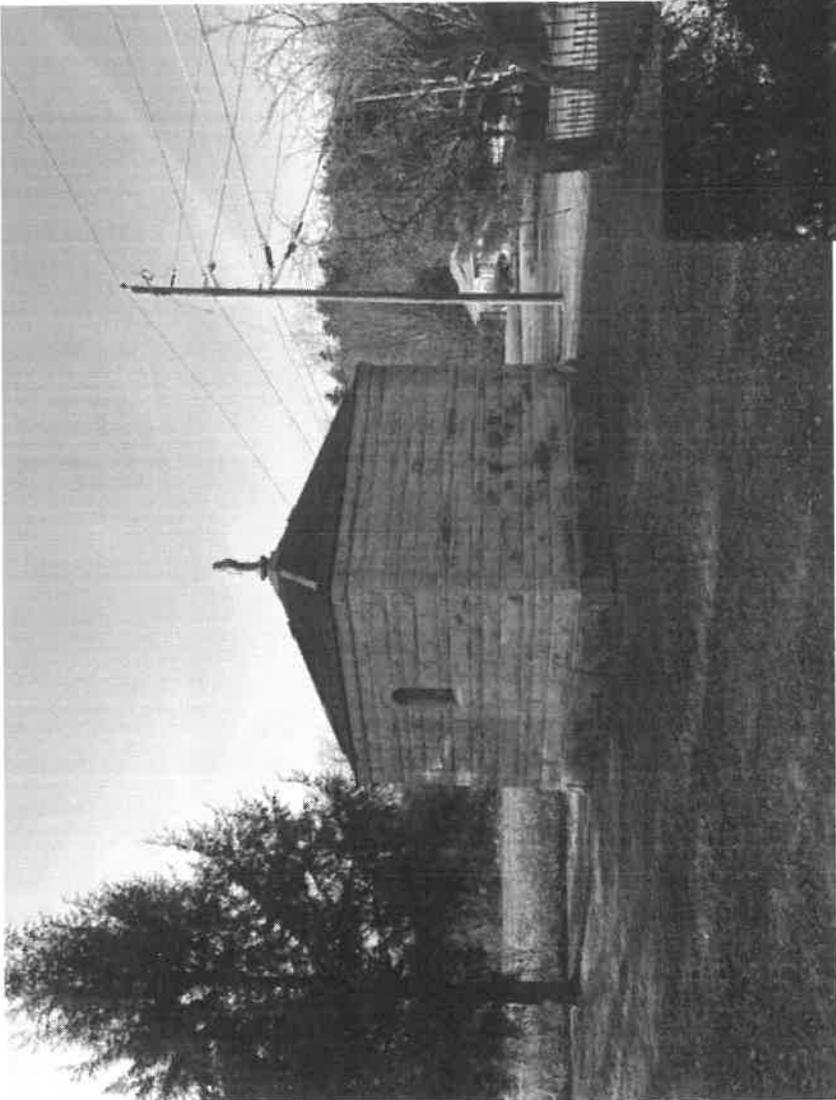
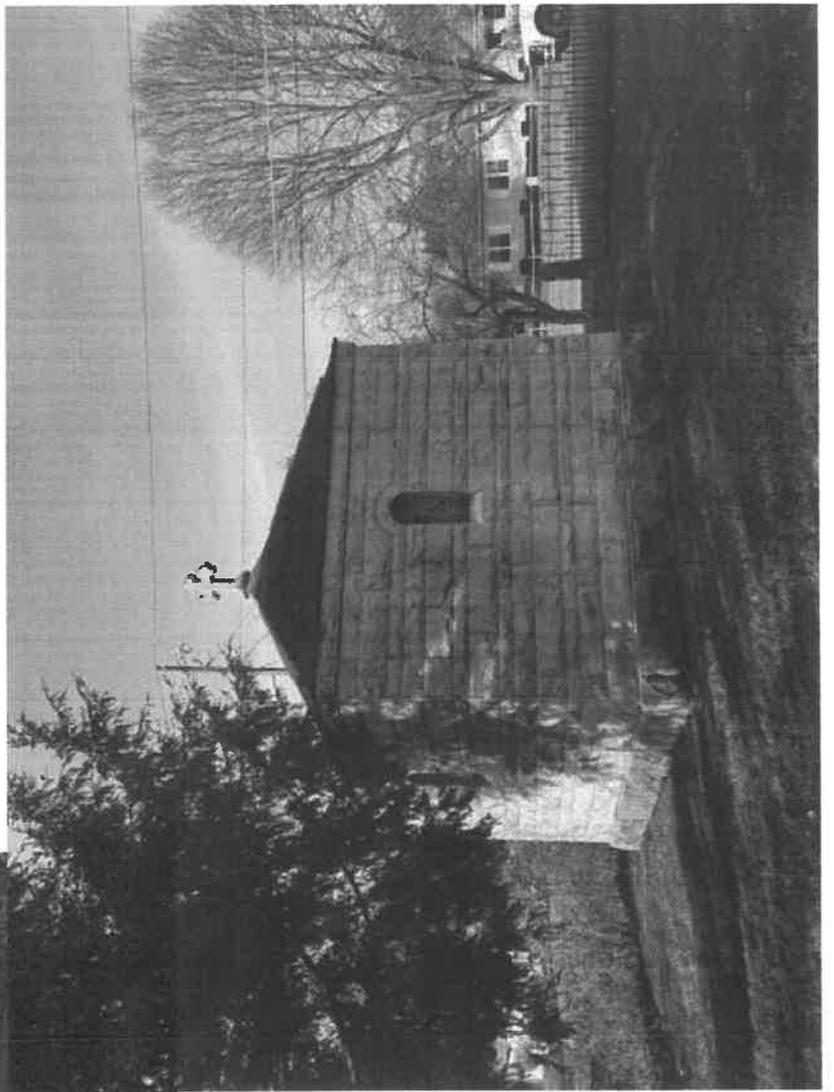
GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR	
LOCATION: 9 SILVER ST ACRES: 12.97 PARCEL ID: 024.0-0000-0008.0 LAND USE CODE: 930 CONDO COMPLEX: OWNER: TOWN OF GREAT BARRINGTON CO - OWNER: CEMETERY MAILING ADDRESS: 334 MAIN ST RM 208 GT BARRINGTON, MA 01230-1832 ZONING: B2 PATRIOT ACCOUNT #: 2184	BUILDING STYLE: UNITS: 0 YEAR BUILT: FRAME: EXTERIOR WALL COVER: ROOF STYLE: ROOF COVER:	
	BUILDING INTERIOR	
<th data-bbox="115 699 959 741">SALE INFORMATION</th> <td data-bbox="959 583 1498 1297" rowspan="5"> INTERIOR WALL: FLOOR COVER: HEAT TYPE: FUEL TYPE: PERCENT A/C: # OF ROOMS: 0 # OF BEDROOMS: 0 # OF FULL BATHS: 0 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 0 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: </td>	SALE INFORMATION	INTERIOR WALL: FLOOR COVER: HEAT TYPE: FUEL TYPE: PERCENT A/C: # OF ROOMS: 0 # OF BEDROOMS: 0 # OF FULL BATHS: 0 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0 # OF KITCHENS: 0 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES:
SALE DATE: BOOK & PAGE: SALE PRICE: SALE DESCRIPTION: SELLER:		
PRINCIPAL BUILDING AREAS		
GROSS BUILDING AREA: 0 FINISHED BUILDING AREA: 0 BASEMENT AREA: 0 # OF PRINCIPAL BUILDINGS: 0		
ASSESSED VALUES		
LAND: 434,700 YARD: 1,900 BUILDING: 0 TOTAL: \$436,600		
SKETCH	PHOTO	
<p>NO SKETCH AVAILABLE</p>	<p>NO PHOTO AVAILABLE</p>	

CAI Technologies

www.cai-tech.com

This information is believed to be correct but is subject to change and is not warranted.







BUDGET ESTIMATE BROWN MAUSOLEUM ROOF

Subcontractor

Roof Sub-contractor Labor to Install	8	\$ 2,800.00	/square	\$ 22,400.00
Roof Sub-contractor Labor to Repair sub-structure	1	\$ 4,500.00	Allowance	\$ 4,500.00
Roof Sub-Contractor Labor for flashing	1	\$ 2,800.00	Allowance	\$ 2,800.00

Materials

Roof Sub-contractor Roofing Materials	8	\$ 3,400.00	Lump Sum	\$ 27,200.00
Roof Sub-contractor Flashing Materials	1	\$ 3,600.00	Allowance	\$ 3,600.00
Sub-Total:				\$ 56,900.00

15% Allowance: \$ 8,535.00

Total for Restoration & Preservation Work: \$ 65,435.00

Design & RFP Package	\$ 12,500.00
Procurement	\$ 5,500.00
Building Permit	\$ 2,500.00
Restoration & Preservation Work	\$ 65,435.00
Restoration & Preservation Oversight	\$ 5,000.00

Total: \$ 90,935.00

BROWN MAUSOLEUM ROOF

Winter
2027

	Jul-26	Aug-26	Sep-26	Oct-26	Nov-26	Dec-26	2027	Apr-27	May-27	Jun-27	Jul-27	Aug-27	Sep-27	Oct-27
CPA Funds Available	█													
Design		█	█	█										
Procurement						█	█							
Contract Award								█	█	█				
Construction											█	█	█	█

CPA Funds Available
 Design
 Procurement
 Contract Award
 Construction

**GREAT BARRINGTON
COMMUNITY PRESERVATION COMMITTEE**

RECEIVED
TOWN OF GREAT BARRINGTON

APPLICATION FOR CPA FUNDING - Step 1

OCT 29 REC'D
SELECTBOARD &
TOWN MANAGER'S OFFICE

Date Received (for office use only) _____

Applicant Name Town of Great Barrington (Planning Dept.)

Project Name Old Maid's Park Design & Engineering

Project Address Wyantenuck St, Housatonic

Contact Person Chris Rembold Title: Asst. Town Manager

Phone No. 528-1619 Email crembold@townofgbma.gov

Brief Project Description (attach up to 1 additional page if necessary)

With assistance from an MVP grant, the Town is undertaking a community planning and engagement process related to Old Maid's Park on the Williams River. If this CPA request is funded, it would support the engineering and design component of the project, including: preparation of baseline and existing conditions survey; preparation of conceptual plans; testing feasibility and estimating costs for improvements identified during the public engagement. A letter of interest and preliminary scope of services from a professional engineering team is attached here.

Amount of CPA funding you are seeking: \$ 50,000

When do you request the CPA funding be received by your project? FY27

Property Owner (if different from applicant)

Owner's Name _____

Owner's Address _____

Phone No. _____ Email: _____

If Owner is different from applicant, you must include a letter signed by the Owner giving permission to apply for funds for the specified project on the Owner's property.

In the following chart, mark the box(es) that best apply to your project.
Boxes with an X through them are not CPA eligible activities. Contact the Town Planner if you need more information.

	OPEN SPACE	HISTORIC RESOURCES	RECREATIONAL LAND	COMMUNITY HOUSING
Activities (refer to Glossary for definitions)	Land to protect existing and future well fields, aquifers and recharge areas, watershed land, agricultural land, grasslands, fields, forest land, wetland, river, stream, lake and pond frontage, land to protect scenic vistas, land for wildlife or nature preserve, and land for recreation use.	Building, structure, vessel, real property, document or artifact listed on the state register of historic places or determined by the local historic preservation commission to be significant in the history, archeology, architecture or culture of the city or town.	Land for active or passive recreational use including, but not limited to, the use of land for community gardens, trails, and noncommercial youth and adult sports, and the use of land as a park, playground or athletic field. Does not include horse or dog racing or the use of land for a stadium, gymnasium or similar structure.	Housing for low and moderate income individuals and families, including low or moderate income seniors. Moderate income is less than 100%, and low income is less than 80% of US HUD Area Wide Median Income.
ACQUISITION Obtain property interest by gift, purchase, devise, grant, rental, rental purchase, lease or otherwise. Only includes eminent domain taking as provided by G.L. c. 44B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CREATION To bring into being or cause to exist. <i>Seidman v. City of Newton</i> , 452 Mass. 472 (2008)	<input type="checkbox"/>	X	<input type="checkbox"/>	<input type="checkbox"/>
PRESERVATION Protect personal or real property from injury, harm or destruction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SUPPORT Provide grants, loans, rental assistance, security deposits, interest-rate write downs or other forms of assistance directly to individuals and families who are eligible for community housing, or to entity that owns, operates or manages such housing, for the purpose of making housing affordable	X	X	X	<input type="checkbox"/>
REHABILITATION AND/OR RESTORATION Make capital improvements, or extraordinary repairs to make assets functional for intended use, including improvements to comply with federal, state or local building or access codes or federal standards for rehabilitation of historic properties	Only applies if property was acquired or created with CPA funds <input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Only applies if housing was acquired or created with CPA funds <input type="checkbox"/>

Chart adapted from "Recent Developments in Municipal Law", Massachusetts Department of Revenue, October 2012.

End of Step 1 application

GREAT BARRINGTON COMMUNITY PRESERVATION COMMITTEE

APPLICATION FOR CPA FUNDING – Step 2

Date Received (for office use only)



All applicants submitting Step 2 must include a copy of their Step 1 application.

All applicants must answer questions 1-11, and question 19. For question 12-18, only answer questions that are applicable to your CPA area. For example, if your project has to do with Historical Preservation but does not include Housing, then you may skip questions 12, 13 and 14, but you must answer all questions under the subheading "Historical Preservation Projects."

You may attach additional sheets as necessary to answer the numbered questions, up to a maximum of 8 additional pages of narrative. These additional pages must be formatted with a minimum 11 point font, 1 inch margins. If your project combines two or more CPA priorities, such as Community Housing AND Open Space, then you must answer ALL questions under both of those 2 subheadings and you may include up to 10 additional pages of narrative. (Please note Open Space and Recreation is considered one CPA priority.)

All pages must be numbered. Please number each attached Page 1 of 8, Page 2 of 8, etc. If your answers are on separate sheets, also number each answer so that it corresponds with the number of the question you are answering.

Applicant Name Town of Great Barrington (Planning Dept.)

Project Name Old Maid's Park Design & Engineering

Project Address Wyantenuck St, Housatonic

Assessor's Map 26 Lot 81A + 91A

Property Deed Book / Page see #3 below / _____

1.) Project Budget (list all sources and uses, including grants, fundraising, etc.)

Total CPA funds requested: \$ 50,000

Fill in the chart below showing all project sources and uses, including requested CPA funds:

Source Name	Amount	% of total	Used for	Committed?
CPA	50,000	38%	design and engineering	no
MVP grant	80,860	62%	community engagement	yes
Total budget:		\$130,860		

Attach additional budget sheets or project budget if necessary. Budget pages do not count towards the 8 page limit. Be sure to include project management, oversight, engineering, and administrative costs that may be incurred. Describe all funding that has been sought and/or is available for this project.

2.) Timing of Funds: Describe when CPA funds and other funding sources are to be received.

CPA: FY27

MVP: Already in hand.

3.) Existing use or deed restrictions, permanent easements, historic designations, special permits, etc. if any:

The bulk of the property was donated to the Town in the early 1960s (see Book 334 Park 594), and there is not a permanent protection on file.

Another 0.18 acres was donated in 2003 and is restricted by Deed conditions (see Book 1477 Page 254, and subsequent agreement at Book 1477 Page 304).

4.) Proposed Use or Deed Restrictions after Project Completion (in accordance with CPA rules):

No changes or new restrictions would be required per CPA rules. The park is open to the public and will remain so.

5.) Describe the project team, including project management personnel, design professionals, contractors, and other applicable consultants, their relevant experience, so forth. Attach additional pages/resumes as needed.

The project would be led by the Planning Director and ongoing teamwork with the DPW, Parks Commission, Housatonic Improvement Committee, and Selectboard. The Planning Director has over 15 years experience leading related projects with the Town, including the Lake Mansfield Improvements, and 25 years of experience in related projects.

Additional Information: These pages do not count towards the 8 page limit. Attach additional information as appropriate, for example:

- Project timeline;
- Plans or drawings stamped and signed by an Engineer or Architect as appropriate;
- Photographs;
- Map showing project location in town;
- Ownership letters or site control verification;
- Budgets;
- Feasibility studies;

- Existing conditions reports or needs assessments;
- Letters of support;
- Resumes and experience of key personnel;
- For Historic Preservation projects, if the project is not State Register-listed, the applicant must provide a letter from the Historical Commission which details the significance of the project to Great Barrington's history, culture, architecture or archeology.

Funding Considerations

6.) Consistency: Describe how the proposed project is consistent with the Community Preservation Plan and with the Great Barrington Master Plan.

7.) Town Projects: Is the proposed project for a town-owned asset? Yes No
If yes, please describe funding options. For example, what portion of the project budget is CPA funding? If CPA funds are not received, what are the alternative funding options, if any?

8.) Public Benefits: Describe the public benefits of the project.

9.) Leverage: Will the CPA funds be used to leverage or supplement other funding for this project? Please explain other sources and whether they have been committed.

10.) Community Input and Support: Describe any community input, meetings and/or support that you have for your proposed project. Include support letters as applicable (they will not be counted towards the 4-page limit). Letters should be unique and not reproduced form letters.

11.) Permits: Describe permits that may be required, the status of those permits or applications, and/or when the applications will be submitted and permits received.

Affordable Housing Projects

12.) Affordable Housing Projects: Clearly describe how the project meets the Affordable Housing goals of the Community Preservation Plan.

13.) Affordability Level(s):

_____ % of area median income	no. of units _____
_____ % of area median income	no. of units _____
_____ % of area median income	no. of units _____

14.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation?

Historic Preservation Projects

Applicants should note: all CPA-funded historic preservation projects must comply with the US Secretary of the Interior's standards for the treatment of historic properties.

15.) Historic Preservation Projects: Clearly describe how the project meets the Historic Preservation goals of the Community Preservation Plan.

N/A

16.) Other Information: Describe any other relevant information about the project and the site. For example: is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site; is the site or could the site be contaminated and if so what is the plan for remediation.

N/A

Open Space and Recreation Projects

17.) Open Space and Recreation: Clearly describe how the project meets the Open Space and Recreation goals of the Community Preservation Plan.

Please see attached narrative.

18.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals? Does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation.

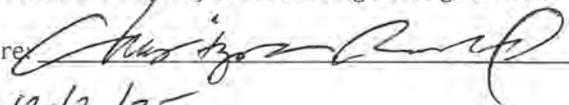
Please see attached narrative.

Certification

19.) This application was prepared, reviewed, and submitted by:

Name: Christopher Rembold
Ph: 413-528-1619 x. 2401 Email crembold@townofgbma.gov

I hereby certify that all of the above and included information is true and correct to the best of my knowledge. [For non-municipal applicants only: I further declare my willingness to enter into a Contract with the Town of Great Barrington to govern the use and expenditure of CPA funds.]

Signature:  _____

Date: 12/3/25

All hard copies of the entire application package, and one PDF of the entire application package, are due prior to the 4:00 PM deadline.

Number all pages.

6.) Consistency: Describe how the proposed project is consistent with the Community Preservation Plan and with the Great Barrington Master Plan.

Background: Old Maid's Park is in close proximity to the Housatonic Village Center, and one can walk or bike there without navigating steep hills or busy roads. The park is owned by the Town of Great Barrington, and its 3.9 acres span both sides of the Williams River. This proposed CPA project will complement, and help implement, the Town's current Municipal Vulnerability Preparedness (MVP) grant from the State, which has funded a community planning and engagement process related to Old Maid's Park on the Williams River. Specifically, ***a goal of this project is to enhance the climate resilience of our most valued community open spaces, particularly those that are near or within walking distance of population centers and those that provide (or have the opportunity to provide) shade and access to water resources for cooling and recreational benefits for people of all ages and abilities.***

The MVP grant-funded community engagement process will result in improvement plans for Old Maid's that will need to be refined by civil engineers and landscape architects for feasibility, permitting, and cost implications. This CPA request is intended to fund that engineering and design work, including: preparation of baseline and existing conditions survey of the site (documenting all property lines, site features, structures, topography and so forth); preparation of conceptual plans; testing feasibility and estimating costs of improvements identified through the community engagement process.

Consistency: The project is consistent with the CPA Plan, which includes a recognition of "the mounting realities of climate change" and states that one of the town's CPA needs is to "serve the changing needs of our community, particularly those most in need of convenient places for cooling, recreation, and community gathering, as well as our aging and less mobile population." That is in fact the exact intent of this project. It will develop plans that improve Old Maid's Park as a place that can continue to serve the open space, recreation, and cooling needs of the community.

This project will meet the following two of the five CPA open space and recreation funding priorities:

- "Support projects designed to help mitigate the impacts of climate change on our community.
- Provide for a demonstrated community open space or recreational need and be accessible for a variety of ages and abilities."

This project is also consistent with the Town's Master Plan, specifically Goal OSR 3, which states, "Parks, open space and recreational area should serve the changing needs of our community."

Finally, the project is consistent with the recommendations of the Town's **2025 ADA Plan**, which calls for specific handicapped accessibility improvements at Old Maid's park. Relevant pages from that plan are attached to this packet.

8.) Public Benefits: Describe the public benefits of the project.

Public benefits include direct benefits to people (access – for all abilities – to the health, cooling, recreational, and social benefits of nature, and flood resilience), and direct benefits to wildlife (improved water quality, improved cold water connectivity, removal of invasive plants, flood resilience).

1. The park is already open to the public during daylight hours, and it will remain so.
2. This project is intended to result in a more accessible park, as per the recommendations of the 2025 ADA Plan. Currently, the grassy path from the parking area down to the water is too steep, and it is not a “firm and stable surface;” therefore, it does not meet accessibility regulations. As a result only relatively able-bodied individuals can access the water. **Photos 5 and 6** provided with this application illustrate the steep slopes.

Access to natural waterways for recreation, joy, sport, and cooling helps to facilitate human health and well-being, and provides an important means to cope with the impacts of climate change. People are generally healthier when they can access the outdoors, particularly in a warming climate. Health and cognitive impacts from extreme heat is one of the most urgent human impacts listed in the 2022 Massachusetts Climate Change Assessment. As climate change increases the frequency of extreme heat days, residents can experience impacts on their health and cognition disproportionately. Extreme heat impacts the ability to work in climate-vulnerable or outdoor industries due to weather conditions or the need to care for others who are sick due to extreme heat. Therefore places to cool down and be outside are becoming more and more essential for people of all ages and mobility.

Further, when people have places to gather, that can create or enhance existing social connections, strengthening the social fabric and therefore the climate resilience of the community.

3. This project could improve water quality. Currently stormwater in the upper parking lot area is collected into catch basins that drain directly into the river without filtration or cooling. The best practice to filter stormwater would be to install rain gardens or other infiltration measures, similar to what was installed in the Lake Mansfield parking area. **Photos 8 and 9** provided with this application illustrate the catch basins, erosion, and lack of stormwater infiltration features.

In particular, hotter weather is bringing more extreme rainfall events, and an increase of unfiltered runoff can negatively impact the community by polluting waterways and transmitting diseases to people who swim or recreate in the waterway. E. coli monitoring data from the Great Barrington Health Department shows that bacteria counts at Old Maid's and two other sampling locations typically get higher in August, typically the warmest month of the year. By investing in infrastructure improvements to reduce runoff into the Williams River swimming hole and improving access, we can ensure that additional cooling and bathing locations are continuously available as our climate continues to change and impact water quality.

Improvements to runoff, steep slopes, and new plantings can also mitigate soil erosion, another major factor in another water quality degradation. Soil erosion into waterways adds

more silt and sedimentation into the stream, the makeup of which can include nutrients like phosphorus and nitrogen. This can then change the water chemistry, harm native flora and fauna, and increase the water temperatures.

4. This project could improve wildlife habitat. The Williams River is a relatively large tributary to the Housatonic River. It begins in West Stockbridge and flows through Great Barrington, connecting into the Housatonic just south of Division Street. The Williams River is a designated coldwater fish resource that supports wild and stocked Brown Trout but suffers from high water temperatures, making it more intolerable for native coldwater fishes. We will coordinate with Housatonic Valley Association (HVA) and Mass. Division of Fisheries and Wildlife (Mass Wildlife) to consider what improvements can mitigate degradation of the river ecosystem, and what improvements can mitigate soil erosion. Both groups have extensive expertise in this type of work, both have been active in planning for climate change mitigation and adaptation, most importantly, both have pledged their support to the MVP project. Mass Wildlife is leading a multi-agency effort funded by a National Fish and Wildlife Foundation "America the Beautiful" (ATBC) grant federal grant to improve river ecosystems. HVA leads the *Berkshires Clean Cold and Connected* project. Both Mass Wildlife and HVA have commented to partnering in our community engagement efforts, helping to educate the Town and our community about climate change, its existing and future impacts on the river and park, and potential solutions for this park.
5. This project could improve flood resilience. Impoundments (dams), particularly poorly constructed dams, can be extremely vulnerable to extreme rainfall events. As climate change makes the frequency of extreme precipitation more frequent and more likely, the Williams River is sure to experience extreme river flows which could imperil the dam and lead to flooding in the case of dam failure. On the other hand, a river without obstructions and with healthy vegetation has more opportunity to spread out the flow, to slow the flow, and to mitigate extreme flooding. If the community engagement process identifies dam removal as an option, Mass Wildlife stands ready, with over \$1 million if needed, to deliver on the deconstruction of the dam and restoration of the river.

9.) Leverage: Will the CPA funds be used to leverage or supplement other funding for this project? Please explain other sources and whether they have been committed.

This CPA project is part of a multi-agency effort. The Town is already underway on an \$80,860 MVP grant funded project. Furthermore, if the community engagement process identifies dam removal as an option, Mass Wildlife stands ready, with over \$1 million, to deliver on the deconstruction of the dam and restoration of the river.

10.) Community Input and Support: Describe any community input, meetings and/or support that you have for your proposed project. Include support letters as applicable (they will not be counted towards the 4-page limit). Letters should be unique and not reproduced form letters.

The MVP grant-funded work underway is all about community input and engagement. Three main goals of the project are:

1. To develop a plan to enhance the Old Maid's Park resilience to climate change impacts

2. To develop a plan that will ensure universal accessibility to the park for all community members and create solutions that embody the values and needs of the community
3. To utilize community engagement practices as a means of informing the plan development and of creating deeper and lasting community connections within the Village of Housatonic and the wider region

The process will utilize a variety of discussions and events to achieve these goals, including

- A “Welcome to Old Maid’s Park” events to introduce residents to the park. (The park is relatively little known, according to previous town surveys.)
- Interactive Community Dinners in Housatonic (for example, at the Housy Dome or Berkshire Pulse).
- Outreach at community hubs, which could include the Alice Bubriski Memorial Playground, the winter farmer’s market at the Housy Dome, Ramsdell Library, and village businesses.
- Collaboration with *Language Justice Solutions* to ensure translation, interpretation, and cultural accessibility at all events.
- Making materials, signage, and surveys be multilingual (English/Spanish at a minimum) and ADA-accessible.
- An inclusive community survey to collect broad community perspectives.
- Youth engagement with Old Maid’s Park and the Williams River through meaningful activities that are rooted in environmental science, climate science, etc. in collaboration with schools and/or other community organizations.
- After information collection, work with the design/engineering team to develop public forums to present draft design concepts and gather feedback
- Seek to form a diverse and multigenerational community stewardship group or task force to sustain engagement beyond the grant period

This work will also complement the work of the Mass. Division of Fisheries and Wildlife (Mass Wildlife), which is funded by a National Fish and Wildlife Foundation “America the Beautiful” grant. Mass Wildlife, with the support of the Great Barrington Parks Commission, proposed in 2023 to undertake a community engagement process to learn what is desired and needed to improve the swimming access at Old Maid’s Park, including potentially removing the unsafe remnant dam. Mass Wildlife’s watershed-wide goals include improving the Williams River as a coldwater fish habitat, removing invasive plants, and improving the riparian forest’s ability to moderate increases and decreases of precipitation and water temperature expected to occur with climate change.

HVA supports the work as well. HVA works across the entire 2,000 square-mile Housatonic River Watershed to conserve the natural character, environmental health, and the economies of the region by protecting and restoring its land and waters for today and for future generations. As such, HVA has long been invested in conservation projects that both ensure public access to natural spaces and protect key habitat for both terrestrial and aquatic wildlife.

We will keep all partners informed, and we will keep all relevant Town boards and committees informed. And, of course, all will be welcome at the above events.

17.) Open Space and Recreation: Clearly describe how the project meets the Open Space and Recreation goals of the Community Preservation Plan.

The project is consistent with the CPA Plan, which includes a recognition of “the mounting realities of climate change” and states that one of the town’s CPA needs is to “serve the changing needs of our

community, particularly those most in need of convenient places for cooling, recreation, and community gathering, as well as our aging and less mobile population.” That is in fact the exact intent of this project. It will develop plans that improve Old Maid’s Park as a place that can continue to serve the open space, recreation, and cooling needs of the community.

This project will meet the following two of the five CPA open space and recreation funding priorities:

- “Support projects designed to help mitigate the impacts of climate change on our community.
- Provide for a demonstrated community open space or recreational need and be accessible for a variety of ages and abilities.”

This project is also consistent with the Town’s Master Plan, specifically Goal OSR 3, which states, “Parks, open space and recreational area should serve the changing needs of our community.”

18.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals? Does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation.

This is not a construction project, and no specific approvals are required. This project will however develop a list of all approvals that may be necessary for improvement scenarios that may emerge from the community engagement process. The following permits or approvals could be required

- Parks Commission, Selectboard, and Town Meeting for funding or operational questions.
- Conservation Commission and Mass DEP for work in or near wetlands, rivers, and flood zones
- Army Corp of Engineers, for work on the dam and under water
- Natural Heritage and Endangered Species Program, for any work in identified habitat areas

Additional Information Attached:

Existing Conditions Photos

Map Showing Project Location

Related Property Deeds

Pages from the 2025 ADA Plan

Letter of Interest from Civil Engineers

Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7

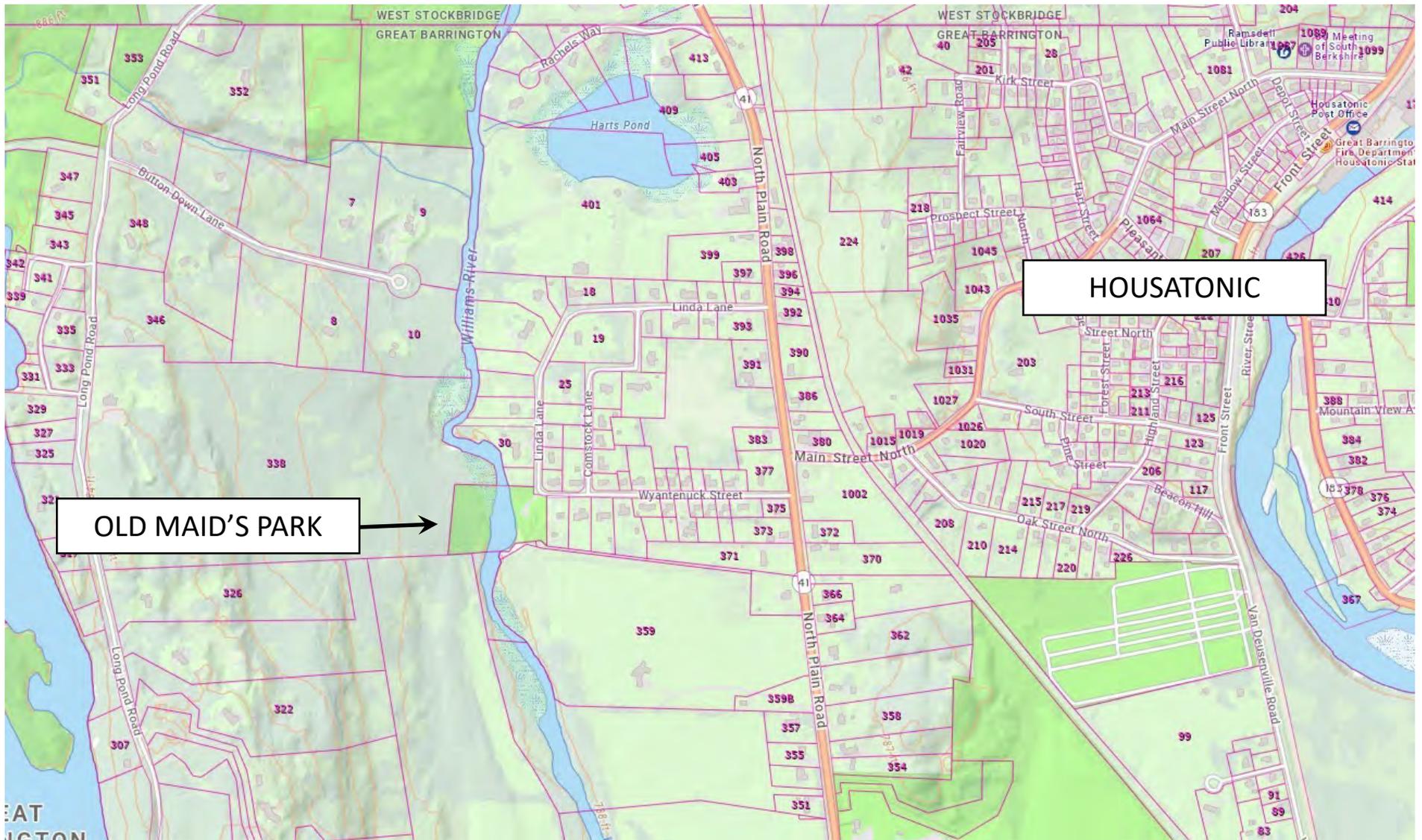


Photo 8



Photo 9





BOOK 334 PAGE 595

In witness whereof, the said Wheeler and Taylor Realty Company has caused its corporate seal to be hereto affixed and these presents to be signed, acknowledged and delivered in its name and behalf by Robert K. Wheeler its President this 4th day of April in the year one thousand nine hundred and sixty-two.

Signed and sealed in presence of

WHEELER AND TAYLOR REALTY COMPANY by Robert K. Wheeler



The Commonwealth of Massachusetts

Berkshire ss.

April 4, 1962

Then personally appeared the above named Robert K. Wheeler

and acknowledged the foregoing instrument to be the free act and deed of the Wheeler and Taylor Realty Company before me

Wheeler and Taylor Realty Company before me

William P. Minter, Notary Public

October 22, 1966

My commission expires

CERTIFICATE OF VOTE

I, WILLIAM S. WEBBER, 3rd., Clerk of Wheeler and Taylor Realty Company, a corporation duly established under the laws of the Commonwealth of Massachusetts, and having an usual place of business at Great Barrington, Massachusetts, do hereby certify that at a special meeting of the Board of Directors of Wheeler and Taylor Realty Company, duly called and held on the twelfth day of March, 1962, it was unanimously voted:

That in accordance with the by-laws of the corporation that Robert K. Wheeler, President of Wheeler and Taylor Realty Company, be and hereby is authorized and empowered in the name and behalf of the corporation to convey certain real estate adjoining Williams River in the village of Housatonic, town of Great Barrington, Berkshire County, Massachusetts, to the Inhabitants of the town of Great Barrington.

William S. Webber, Clerk of Wheeler and Taylor Realty Company

I, WILLIAM S. WEBBER, 3rd., Clerk of Wheeler and Taylor Realty Company, further certify that the President of Wheeler and Taylor Realty Company, is the officer named in the by-laws of the corporation as being the proper officer to sign conveyances of real estate.

William S. Webber, Clerk of Wheeler and Taylor Realty Company



Received May 24, 1962 at 4:31 P.M. James J. Comerford, Regr.

KNOW ALL MEN BY THESE PRESENTS:

THAT WE, JOSEPH L. GROCHMAL AND ANN M. GROCHMAL (the "Grantor"), of Housatonic, Massachusetts, **WITHOUT CONSIDERATION** as this transfer represents a gift, grant to the inhabitants of the Town of Great Barrington, a municipal corporation located in the County of Berkshire, Commonwealth of Massachusetts, whose post office address is 334 Main Street, Great Barrington, MA 01230 (hereinafter, the "Town"), with **QUITCLAIM COVENANTS**, the land in said Housatonic bounded and described as follows:

A certain piece of land, located adjacent to Town owned land, known as "Old Maids" swimming hole shown as 0.18 acres on the attached plan of land entitled "Plan Prepared for Joseph L. & Ann M. Grochmal Great Barrington, Massachusetts May - 2002, Scale 1" =20', Kelly-Granger-Parsons and Associates, Inc. ", and recorded in the Southern Berkshire District Registry of Deeds in Plat File M-6 , and being a portion of the premises conveyed to the Grantor herein by deed of Wheeler and Taylor Realty Company dated June 5, 2001 and recorded in said Registry of Deeds in Book 1242, Page 334. So as to further avoid confusion, said Parcel transferred to the Town hereunder by the Grantor contains precisely 0.18 acres.

It is the desire of the Grantor that the premises remain essentially in their natural state. Therefore the above-described premises are conveyed subject to the following restrictions and obligations:

1. No improvements shall be permitted on the parcel without the prior written approval of Grantor. Notwithstanding the foregoing, Grantor acknowledges that the parcel on the aforesaid plan of land shall be accessible to the public for recreational purposes.
2. With the exception of mowing of the grassy area to keep the premises in their open condition, no trees, flowers, brush, shrubs, or other vegetation of any nature or kind shall be cut or destroyed on said parcel, provided, however that the cutting of diseased, dead or damaged trees in accordance with sound conservation practices shall be permitted.
3. No motorized vehicle of any kind shall be permitted to operate on said parcel except such as may be necessary for emergencies, maintenance, patrol, or to fight fire. The Town will maintain a stone barrier at the edges of the parking lot to preclude common vehicular traffic from entering the site.
4. The Town shall clearly post, monitor and enforce times for the area to be accessible to the public, namely sunrise to sunset. These postings shall be installed by November 3, 2003.
5. The Town shall remove the light and light post from the property. This light and light post shall be removed by October 17, 2003

For Confirmation see BK 1477 Pg 304

Off North Plain Road
Housatonic, MA 01236

- 6. The Town shall install a gate to the parking area entrance on Wyantenuck Street and the gate shall be closed and locked from sunset to sunrise daily to prevent the entrance of common vehicular traffic. It is the understanding of the Grantor that the gate may remain closed and locked for extended periods of time.
- 7. The Town shall erect and maintain a split rail fence (3 rail) along the boundary line with "Remaining Land of Grochmal" from the bank of the Williams River, behind the stump to the edge of the woods on the west side of the Old Roadway.
- 8. The Town shall provide a trash receptacle and regularly pick up and remove trash from the site.

If the above restrictions and obligations are not met, the Grantor herein, or any subsequent successor owner of 359 North Plain Road, Housatonic, Massachusetts (the "Successor"), shall give the Town written notice by certified mail of any failure to observe any said restriction or obligation, and the Town shall have thirty days from the date of such written notification to correct such failure. If the Town shall not correct such failure within said thirty day period the above described land will revert to the Grantor or any Successor upon written notice from the Grantor, or the Successor, to the Town to that effect.

WITNESS our hands and seal this ¹⁶~~14~~th day of October, 2003.

Joseph L. Grochmal
Joseph L. Grochmal

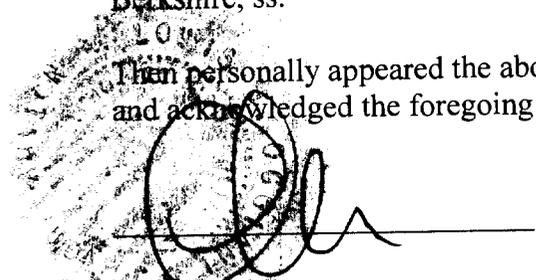
Ann M. Grochmal
Ann M. Grochmal

COMMONWEALTH OF MASSACHUSETTS

Berkshire, ss.

October 16, 2003

Then personally appeared the above-named Joseph L. Grochmal and Ann M. Grochmal and acknowledged the foregoing instrument to be their free act and deed, before me.



Notary Public

My Commission Expires:

Louis J. Oggiani
NOTARY PUBLIC

My commission expires Sept. 16, 2005

SOUTHERN BERKSHIRE REGISTRY OF DEEDS

CONFIRMATION OF DEED

The Town of Great Barrington, acting by and through the Chairman of the Board of Selectmen, duly authorized thereto, hereby agrees to the conditions in the deed from Joseph L. Grochmal and Ann M. Grochmal to the Inhabitants of the Town of Great Barrington dated October 14, 2003, and recorded in the Southern Berkshire District Registry of Deeds on October 16, 2003 in Book 1477, Page 254, which land is shown on a plan of land entitled "Plan Prepared for Joseph L. & Ann M. Grochmal, May 2002, Scale 1"=20', prepared by Kelly Granger Parsons and Associates, Inc., Great Barrington, Mass. and which plan is recorded in said Registry of Deeds in Plat File M-6. The voters at the June 24, 2002 Special Town Meeting voted to acquire by gift or purchase on terms acceptable to the Board of Selectmen, the land situated immediately adjacent to Town land on the Williams River known as "Old Maids" swimming area in Housatonic.

FOR THE TOWN OF GREAT BARRINGTON BY THE CHAIRMAN OF THE BOARD OF SELECTMEN



DOUGLAS D. STEPHENSON

COMMONWEALTH OF MASSACHUSETTS

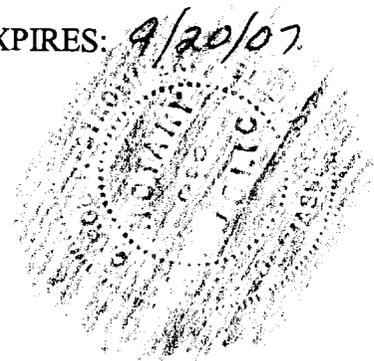
BERKSHIRE, SS.

Oct 17, 2003

Then personally appeared the above-named DOUGLAS D. STEPHENSON, Chairman of the Board of Selectmen and acknowledged the foregoing instrument to be the free act and deed of the Town of Great Barrington, before me.



NOTARY PUBLIC
MY COMMISSION EXPIRES: 9/20/07





Great Barrington ADA Self-Evaluation and Transition Plan

June 2025



Old Maids Park

Old Maid’s Park is a 3.8-acre park located behind Wyantenuck Street. This small park features open space, picnic tables, a grill, and access to the Williams River.

Priority 1 – Parking and Approach

The parking area has approximately a half dozen parking spaces. The lot is not delineated, lacks a designated accessible parking spot, and is made up of packed gravel.



Old Maids Park has a variety of passive recreational opportunities.

The lot does not have accessible parking spaces as required by 208.2 of the 2010 ADA Standards and 521 CMR 23.2.1. The 2010 ADA standards require at least one accessible parking space anywhere a city or town provides parking.

Additionally, 208.2.4 of the 2010 ADA Standards and 521 CMR 23.2.2 requires that there be at least one van accessible parking space. Van accessible spaces must be at least 11-feet wide and have a five-foot access aisle or eight-foot wide with an eight-foot aisle. The aisle must be painted with diagonal lines

There is no accessible route from the arrival point to the park elements as required by 206.2.1 of the 2010 ADA Standards and 521 CMR 20.2.

Priority 2 – Access to Goods and Services

There is no accessible path of travel to the picnic tables, grill or water. Additionally, elements such as picnic tables and grills are not located on an accessible surface.



There is no accessible parking on the property.

To access the grill and picnic tables a person must walk across the grass, which is not “stable, firm, and slip resistant,” in accordance with 302.1 of the 2010 ADA Standards and 521 CMR 29.1.

Additionally, for a person to access the water one must descend a grassy hill that has a slope that exceeds 5% of the grade as specified in 403.3 of the 2010 ADA Standards and 521 CMR 20.9.

The picnic tables on the property are not accessible, which does not comply with 521 CMR 19.5.2, which requires at least 5% of the tables to be accessible. See Fig. 19d.

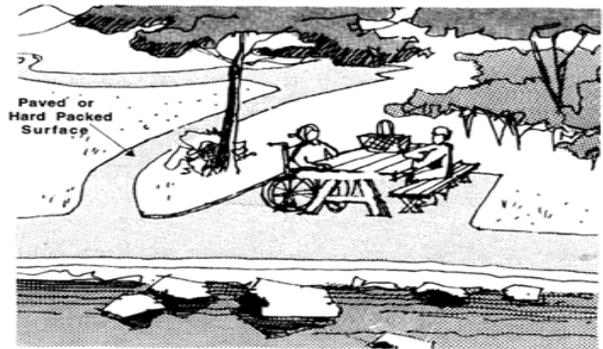
The town could install designated accessible parking and create a short but accessible path of travel to an accessible picnic table and charcoal grill located at the top of the hill, located within proximity to the parking lot while still offering visitors views of the surrounding landscape.

Priority 3 – Toilet Rooms

There are no restrooms located at the park. The town should ensure any portable toilets should be accessible and must comply with MAAB 521 CMR 30.1.2

Priority 4 – Additional Access

There are no other elements at the park that the Department of Justice considers under Priority 4.



Source: Massachusetts Architectural Access Board.

Via Electronic Mail

October 29, 2025



Chris Rembold, ACIP
Interim Town Manager
Director of Planning and Community Development
Town of Great Barrington
334 Main Street
Great Barrington, MA 01230

Re: Letter of Interest and Preliminary Scope of Engineering Services
Old Maid's Park Improvements

Dear Chris:

Woodard & Curran appreciates the opportunity and is interested in supporting the Town of Great Barrington with preliminary engineering services for potential improvements to Old Maid's Park, located adjacent to the Williams River off of Linda Lane and Wyantenuck Street. We have prepared the preliminary scope of services and estimated budget to aid in project budgeting and to advance this initial phase of the project. We understand that the work, if authorized, would not begin until July 2026 and would extend over the following one-year period.

SCOPE OF SERVICES

Phase 1: Community Engagement & Conceptual Design

As part of this initial phase, Woodard & Curran will support the Town with community engagement and conceptual design development activities, intended to generate a preferred concept plan that can be used as the basis of future design development and support future grant funding application(s). Woodard & Curran envisions completing the following specific activities during this initial phase of services:

- Obtain a current existing conditions survey, prepared by a licensed land surveyor subconsultant;
- Attend and facilitate one (1) in-person community workshop, intended to obtain community feedback on desirable uses for the site;
- Support the creation of a digital questionnaire/survey for the Town to distribute, intended to obtain community feedback and desirable uses for the site
- Prepare up to two conceptual plans based on community feedback and Town leadership input;
- Present the conceptual plan(s) at a public workshop and gather final feedback;
- Prepare one final conceptual layout plan; and
- Prepare a conceptual level Engineer's Opinion of Probable Construction Costs (EOPCC) for the final concept



CLARIFICATIONS AND EXCEPTIONS

The following represents Woodard & Curran’s understanding of items that need additional clarification and/or assignment of responsibility for work.

- 1. Conceptual layout plans will be 2-D and in color. 3-D modeling or perspective view simulations are not included.

FEE ESTIMATE

Woodard & Curran proposes to perform the work described within this proposal upon the fee and billing methods described in the following table. Phase 1 will be lump sum, billed monthly based upon the percentage of work completed.

PHASE	DESCRIPTION	FEE	BILLING METHOD
1	Community Engagement & Conceptual Design	\$50,000.00	Lump Sum
Total		\$50,000.00	

SCHEDULE

Woodard & Curran is available to begin providing the above services in July 2026 and will complete the services by June 2027.

Thank you again for considering Woodard & Curran for this effort. If the Town is interested in proceeding, we would be pleased to develop and submit a formal proposal with detailed terms and conditions for your review. We look forward to the opportunity to collaborate on this exciting project.

Sincerely,

WOODARD & CURRAN, INC.

Megan McDevitt, PE
Vice President

GREAT BARRINGTON COMMUNITY PRESERVATION COMMITTEE

APPLICATION FOR CPA FUNDING – Step 2

Date Received (for office use only) _____

All applicants submitting Step 2 must include a copy of their Step 1 application.

All applicants must answer questions 1-11, and question 19. For question 12-18, only answer questions that are applicable to your CPA area. For example, if your project has to do with Historical Preservation but does not include Housing, then you may skip questions 12, 13 and 14, but you must answer all questions under the subheading "Historical Preservation Projects."

You may attach additional sheets as necessary to answer the numbered questions, up to a maximum of 8 additional pages of narrative. These additional pages must be formatted with a minimum 11 point font, 1 inch margins. If your project combines two or more CPA priorities, such as Community Housing AND Open Space, then you must answer ALL questions under both of those 2 subheadings and you may include up to 10 additional pages of narrative. (Please note Open Space and Recreation is considered one CPA priority.)

All pages must be numbered. Please number each attached Page 1 of 8, Page 2 of 8, etc. If your answers are on separate sheets, also number each answer so that it corresponds with the number of the question you are answering.

Applicant Name Town of Great Barrington

Project Name Housatonic Playground Improvements

Project Address Pleasant Street Housatonic

Assessor's Map 1 Lot 1-155-A

Property Deed Book / Page 155 / 445

1.) Project Budget (list all sources and uses, including grants, fundraising, etc.)

Total CPA funds requested: \$ 165,000

Fill in the chart below showing all project sources and uses, including requested CPA funds:

Source Name	Amount	% of total	Used for	Committed?
CPA	\$165,000	100%	Procurement & Improvements	
Total budget:		165000		

Attach additional budget sheets or project budget if necessary. Budget pages do not count towards the 8 page limit. Be sure to include project management, oversight, engineering, and administrative costs that may be incurred. Describe all funding that has been sought and/or is available for this project.

2.) Timing of Funds: Describe when CPA funds and other funding sources are to be received.

July 1, 2026

3.) Existing use or deed restrictions, permanent easements, historic designations, special permits, etc. if any:

No

4.) Proposed Use or Deed Restrictions after Project Completion (in accordance with CPA rules):

No

5.) Describe the project team, including project management personnel, design professionals, contractors, and other applicable consultants, their relevant experience, so forth. Attach additional pages/resumes as needed.

Parks Commission, DPW Building & Grounds & Low Bid Contractor

Additional Information: These pages do not count towards the 8 page limit. Attach additional information as appropriate, for example:

- Project timeline;
- Plans or drawings stamped and signed by an Engineer or Architect as appropriate;
- Photographs;
- Map showing project location in town;
- Ownership letters or site control verification;
- Budgets;
- Feasibility studies;

- Existing conditions reports or needs assessments;
- Letters of support;
- Resumes and experience of key personnel;
- For Historic Preservation projects, if the project is not State Register-listed, the applicant must provide a letter from the Historical Commission which details the significance of the project to Great Barrington's history, culture, architecture or archeology.

Funding Considerations

6.) Consistency: Describe how the proposed project is consistent with the Community Preservation Plan and with the Great Barrington Master Plan.

The Housatonic Playground is one of the most utilized park in town. There have been many request to upgrade to basketball court to the Parks Commission. Residents have also requested outdoor play area in town for Pickleball. Both of these improvements will increase the park usage and recreation.

7.) Town Projects: Is the proposed project for a town-owned asset? Yes No
If yes, please describe funding options. For example, what portion of the project budget is CPA funding? If CPA funds are not received, what are the alternative funding options, if any?

The town's current budget situation does not have funding available for open space and recreation improvements. If CPA funds are not received, this project will most likely not be undertaken.

8.) Public Benefits: Describe the public benefits of the project.

Increased park usage & recreation will result. The scope of this request is to upgrade the paved playing surface at the Housatonic Playground. The upgrade will include, improved basketball court, leveling the surface, applying a surface coating, install painted lines so the surface can be a multi use surface, install the necessary hardware to support pickle-ball netting.

9.) Leverage: Will the CPA funds be used to leverage or supplement other funding for this project? Please explain other sources and whether they have been committed.

no

10.) Community Input and Support: Describe any community input, meetings and/or support that you have for your proposed project. Include support letters as applicable (they will not be counted towards the 4-page limit). Letters should be unique and not reproduced form letters.

The improvements have been the subject matter of many Parks Commission discussions.

11.) Permits: Describe permits that may be required, the status of those permits or applications, and/or when the applications will be submitted and permits received.

None

Affordable Housing Projects

12.) Affordable Housing Projects: Clearly describe how the project meets the Affordable Housing goals of the Community Preservation Plan.

N/A

13.) Affordability Level(s):

<u>N/A</u> _____ % of area median income	no. of units _____
<u>N/A</u> _____ % of area median income	no. of units _____
<u>N/A</u> _____ % of area median income	no. of units _____

14.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation?

None

Historic Preservation Projects

Applicants should note: all CPA-funded historic preservation projects must comply with the US Secretary of the Interior's standards for the treatment of historic properties.

15.) Historic Preservation Projects: Clearly describe how the project meets the Historic Preservation goals of the Community Preservation Plan.

N/A

16.) Other Information: Describe any other relevant information about the project and the site. For example: is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site; is the site or could the site be contaminated and if so what is the plan for remediation.

None

Open Space and Recreation Projects

17.) Open Space and Recreation: Clearly describe how the project meets the Open Space and Recreation goals of the Community Preservation Plan.

Increased park usage & recreation will result. The scope of this request is to upgrade the paved playing surface at the Housatonic Playground. The upgrade will include, improved basketball court, leveling the surface, applying a surface coating, install painted lines so the surface can be a multi use surface, install the necessary hardware to support pickle-ball netting.

5

18.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals? Does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation.

None

Certification

19.) This application was prepared, reviewed, and submitted by:

Name: Ilana Siegal, Parks Commission Chair/ Joe Aberdale DPW

Ph: 413-717-8603 Email jaberdale@townofgb.org

I hereby certify that all of the above and included information is true and correct to the best of my knowledge. [For non-municipal applicants only: I further declare my willingness to enter into a Contract with the Town of Great Barrington to govern the use and expenditure of CPA funds.]

Signature: _____

Date: 12/3/05

All hard copies of the entire application package, and one PDF of the entire application package, are due prior to the 4:00 PM deadline.

Number all pages.

6

Housatonic Playground Improvements

	Jul-26	Aug-26	Sep-26	Oct-26	Nov-26	Dec-26	2027	Apr-27	May-27	Jun-27	Jul-27	Aug-27	Sep-27	Oct-27
CPA Funds Available														
Design														
Procurement														
Contract Award														
Construction														

Winter

CPA Funds Available
 Design
 Procurement
 Contract Award
 Construction

BUDGET ESTIMATE HOUSATONIC PLAYGROUND

Subcontractor		1	\$ 2,000.00	Lump Sum Budget	\$ 2,000.00
Clean & Seal Existing Cracks on Pavement to Remain		165	\$ 48.00 /CY		\$ 7,920.00
Unclassified Excavation & Disposal		85	\$ 85.00 /CY		\$ 7,225.00
Gravel Borrow		110	\$ 275.00 /ton		\$ 30,250.00
HMA Surface Course - 9.5mm overlay 1.25" average		140	\$ 225.00 Allowance		\$ 31,500.00
HMA - 19mm @ 3"		250	\$ 30.00 /LF		\$ 7,500.00
HMA - Curb		85	\$ 10.00 /Gal		\$ 850.00
Asphalt Emulsion - Tack Coat		2	\$ 1,000.00 /Ea		\$ 2,000.00
Remove & Reset Trees		0	\$ 35.00 /SY		\$ -
Resilient Cushion Course System		695	\$ 30.00 /SY		\$ 20,850.00
Acrylic Color Coating System and Line Painting		2	\$ 2,000.00 /ea		\$ 4,000.00
Portable Net System		1	\$ 4,000.00 /ea		\$ 4,000.00
Practice Board		1	\$ 1,500.00 /LS		\$ 1,500.00
Errision, Sedimentation & Dust Control		120	\$ 30.00 /SY		\$ 3,600.00
Loam, Seed, Straw Mulch & Clean-UP					

Sub-Total: \$ 123,195.00

15% Allowance: \$ 18,479.25

Construction Work: \$ 141,674.25

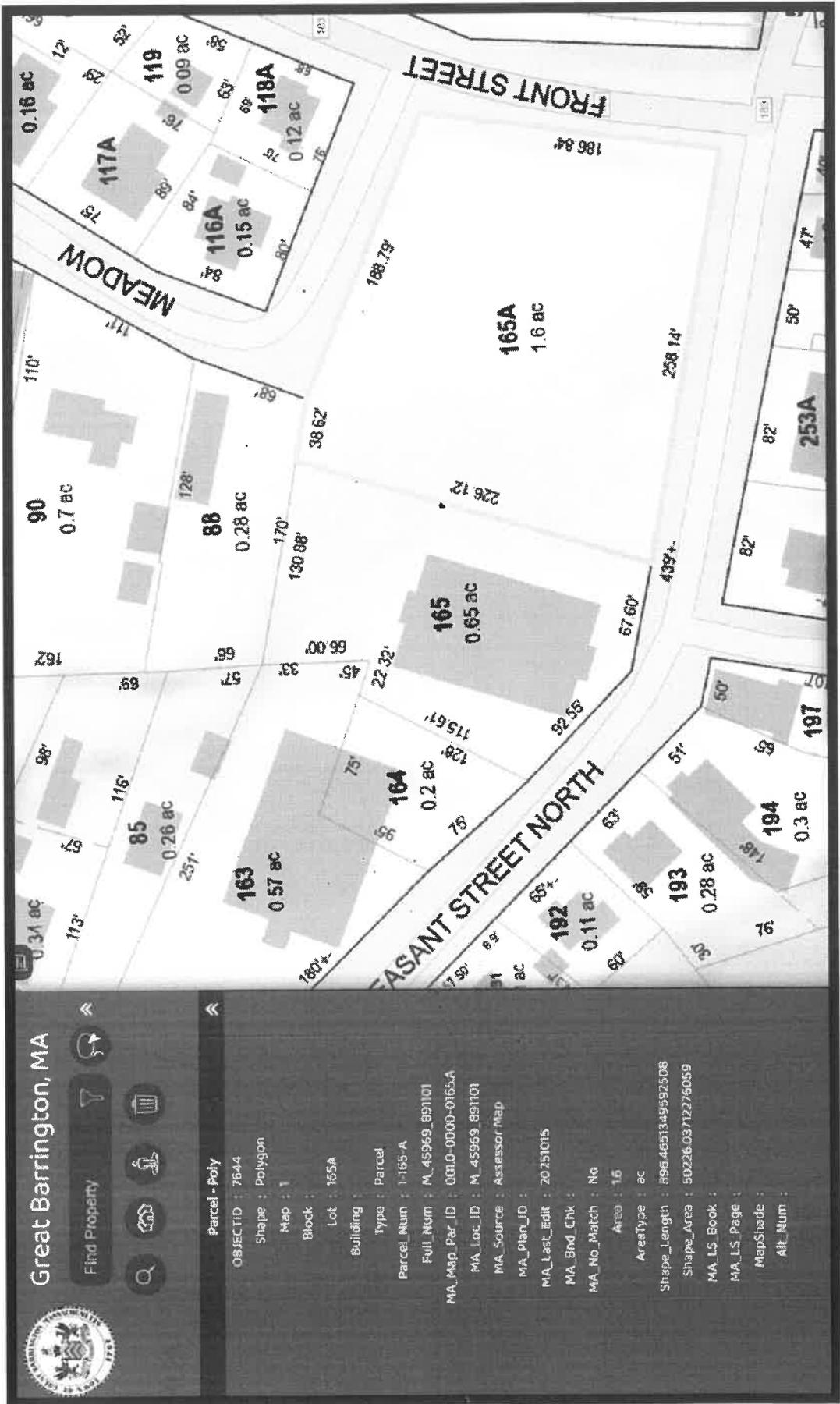
Design & RFP Package	\$ 12,500.00
Procurement	\$ 5,500.00
Construction	\$ 141,674.25
Construction Oversight	\$ 5,000.00

Total: \$ 164,674.25





HOUSATONIC PLAYGROUND



ACCESSORS MAP HOUSATONIC PLAYGROUND

**GREAT BARRINGTON
COMMUNITY PRESERVATION COMMITTEE**

APPLICATION FOR CPA FUNDING – Step 1

Date Received (for office use only) _____

Applicant Name Great Barrington Affordable Housing Trust

Project Name Affordable Housing Support Programming

Project Address TBA

Contact Person Ananda Timpane & Fred Clark Title: Co-Chairs

Phone No. 413-329-8707 Email ananda.timpane@gmail.com, fred3clark@

Brief Project Description (attach up to 1 additional page if necessary)

Great Barrington Affordable Housing Trust requests CPA funds with the goal of continuing to move towards being the official town body that oversees affordable housing that accepts, reviews, funds, and oversees all application and projects related to affordable housing in the town. In this way, the Trust will answer the urgency of the housing crisis in our community efficiently while minimizing redundancy. Through 5 core activities: Housing Stabilization, 0% Down Payment Loans, Accessory Dwelling Units, Affordable Housing Development Grants, and Property Acquisition. See attached additional page for more details.

Amount of CPA funding you are seeking: \$ 675,000.00

When do you request the CPA funding be received by your project? 7/1/2026

Property Owner (if different from applicant)

Owner's Name TBA

Owner's Address TBA

Phone No. TBA Email: TBA

If Owner is different from applicant, you must include a letter signed by the Owner giving permission to apply for funds for the specified project on the Owner's property.

In the following chart, mark the box(es) that best apply to your project.

Boxes with an X through them are not CPA eligible activities. Contact the Town Planner if you need more information.

	OPEN SPACE	HISTORIC RESOURCES	RECREATIONAL LAND	COMMUNITY HOUSING
Activities (refer to Glossary for definitions)	Land to protect existing and future well fields, aquifers and recharge areas, watershed land, agricultural land, grasslands, fields, forest land, wetland, river, stream, lake and pond frontage, land to protect scenic vistas, land for wildlife or nature preserve, and land for recreation use.	Building, structure, vessel, real property, document or artifact listed on the state register of historic places or determined by the local historic preservation commission to be significant in the history, archeology, architecture or culture of the city or town.	Land for active or passive recreational use including, but not limited to, the use of land for community gardens, trails, and noncommercial youth and adult sports, and the use of land as a park, playground or athletic field. Does not include horse or dog racing or the use of land for a stadium, gymnasium or similar structure.	Housing for low and moderate income individuals and families, including low or moderate income seniors. Moderate income is less than 100%, and low income is less than 80%, of US HUD Area Wide Median Income.
ACQUISITION Obtain property interest by gift, purchase, devise, grant, rental, rental purchase, lease or otherwise. Only includes eminent domain taking as provided by G.L. c. 44B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
CREATION To bring into being or cause to exist. <i>Seideman v. City of Newton</i> , 452 Mass. 472 (2008)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
PRESERVATION Protect personal or real property from injury, harm or destruction	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SUPPORT Provide grants, loans, rental assistance, security deposits, interest-rate write downs or other forms of assistance directly to individuals and families who are eligible for community housing, or to entity that owns, operates or manages such housing, for the purpose of making housing affordable	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REHABILITATION AND/OR RESTORATION Make capital improvements, or extraordinary repairs to make assets functional for intended use, including improvements to comply with federal, state or local building or access codes or federal standards for rehabilitation of historic properties	Only applies if property was acquired or created with CPA funds <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Only applies if housing was acquired or created with CPA funds <input checked="" type="checkbox"/>

Chart adapted from "Recent Developments in Municipal Law", Massachusetts Department of Revenue, October 2012.

End of Step 1 application

Great Barrington Affordable Housing Trust
Step 1 Application to the Great Barrington Community Preservation Committee

Great Barrington Affordable Housing Trust (“the Trust”) is taking the unusual step to request \$675,000 – the maximum CPC can apply to affordable housing – with the goal of continuing to move towards funding the Trust as the official town body tasked with advancing affordable housing. As such the Trust will accept, review, fund and oversee all applications and projects related to affordable housing in the Town. In this way, the Trust will answer the urgency of the housing crisis in our community efficiently while minimizing redundancy.

According to data from the most current Great Barrington Housing Study, commissioned by the CPC and paid for with CPA funds, there is a pressing need for more affordable housing in Great Barrington. In fact, 45% of current renters are considered either cost burdened (25%) or severely cost burdened (20%), while 20% of homeowners are cost burdened (15%) or severely cost burdened (5%). In addition, 68% of South County renters and 47% of South County homeowners are eligible for affordable housing.

Requested funds will secure and increase access to affordable housing for the residents of Great Barrington through 5 core activities of the Trust that align with the 2024 CPC Community Preservation Plan. Trust programs work directly to create solutions to this housing crisis:

1. **Housing Stabilization** provides direct support to Great Barrington renters to secure precarious housing situations in emergencies and prevent homelessness. We are submitting a single application with support from Construct to continue to fund this work in Great Barrington.¹
2. **0% Down Payment Loans** provide 0% loans for down payment assistance to income eligible applicants seeking to become homeowners. The Trust is planning for a higher number this year including 10 closings on the North Plain Road site.
3. **Accessory Dwelling Unit (ADU) Program**, a new initiative to partner with Great Barrington homeowners to add ADUs to the market at affordable rental rates, funding will continue the program into FY26.
4. **Affordable Housing Development Program**, newly formalized into a rolling application and RFP, this program provides grants to non-profits – such as Construct & Habitat – and developers to develop income-restricted affordable housing options in Great Barrington.
5. **Property Acquisition Initiative** is an ongoing initiative of the Trust to seek and acquire property at or below market value for development into deed-restricted affordable housing.

All Trust programs directly serve Great Barrington residents with incomes at or below average median income (AMI). Where programs support housing development, the Trust requires units be restricted for AMI-eligible residents. The number of units to be restricted and the period of restriction varies by program and type of development beginning at a minimum of a 10-year restriction and extending to up to a 30-year or a permanent restriction.

Taken together, these programs offer an opportunity for Great Barrington residents and taxpayers across a spectrum to be part of the solution to the housing crisis. The Trust therefore humbly asks the Committee to consider investing the maximum amount of CPA funds allowable for affordable housing to meet this moment by committing \$675,000 to the Trust.

¹ Construct has agreed to support a single application by the Trust rather than apply for CPA funds directly and instead will apply to the Trust for funding.

GREAT BARRINGTON COMMUNITY PRESERVATION COMMITTEE

APPLICATION FOR CPA FUNDING – Step 2

Date Received (for office use only) 12/2/2025

All applicants submitting Step 2 must include a copy of their Step 1 application.

All applicants must answer questions 1-11, and question 19. For question 12-18, only answer questions that are applicable to your CPA area. For example, if your project has to do with Historical Preservation but does not include Housing, then you may skip questions 12, 13 and 14, but you must answer all questions under the subheading “Historical Preservation Projects.”

You may attach additional sheets as necessary to answer the numbered questions, up to a maximum of 8 additional pages of narrative. These additional pages must be formatted with a minimum 11 point font, 1 inch margins. If your project combines two or more CPA priorities, such as Community Housing AND Open Space, then you must answer ALL questions under both of those 2 subheadings and you may include up to 10 additional pages of narrative. (Please note Open Space and Recreation is considered one CPA priority.)

All pages must be numbered. Please number each attached Page 1 of 8, Page 2 of 8, etc. If your answers are on separate sheets, also number each answer so that it corresponds with the number of the question you are answering.

Applicant Name Great Barrington Affordable Housing Trust

Project Name Affordable Housing Support Programming

Project Address TBA

Assessor’s Map _____ Lot _____

Property Deed Book / Page _____ / _____

1.) Project Budget (list all sources and uses, including grants, fundraising, etc.)

Total CPA funds requested: \$ \$675,000

Fill in the chart below showing all project sources and uses, including requested CPA funds:

Source Name	Amount	% of total	Used for	Committed?
CPA	\$75,000	10%	Housing Stabilizat	Requested
CPA	\$75,000	10%	Down Payment Le	Requested
CPA	\$100,000	14%	ADU Program	Requested
CPA	\$275,000	38%	Development	Requested
CPA	\$150,000	21%	Property Aquisitie	Requested
Sort-Term Rental Tax	\$45,000	6%	See Appendix 1	
Total budget:		\$720,000		

Attach additional budget sheets or project budget if necessary. Budget pages do not count towards the 8 page limit. Be sure to include project management, oversight, engineering, and administrative costs that may be incurred. Describe all funding that has been sought and/or is available for this project.

2.) Timing of Funds: Describe when CPA funds and other funding sources are to be received.

CPA funding will be used for program operations in fiscal year 2027 beginning July 1, 2026.

3.) Existing use or deed restrictions, permanent easements, historic designations, special permits, etc. if any:

All 5 Trust programs (see answer 6 for a detailed description of these programs) directly serve Great Barrington residents with incomes at or below average median income (AMI). (Continued on Page 7, attached.)

4.) Proposed Use or Deed Restrictions after Project Completion (in accordance with CPA rules):
See above.

5.) Describe the project team, including project management personnel, design professionals, contractors, and other applicable consultants, their relevant experience, so forth. Attach additional pages/resumes as needed.

The Affordable Housing Trust (the "Trust") was created by town meeting in 2017 to address the affordable housing crisis in Great Barrington. The Trust is now taking the unusual step to request \$675,000—the maximum CPC can apply to affordable housing – to fund the Trust as the official town body tasked with advancing affordable housing to accept, review, fund and oversee all applications and projects related to affordable housing in the Town. (See Page 7, attached).

Additional Information: These pages do not count towards the 8 page limit. Attach additional information as appropriate, for example:

- Project timeline;
- Plans or drawings stamped and signed by an Engineer or Architect as appropriate;
- Photographs;
- Map showing project location in town;
- Ownership letters or site control verification;
- Budgets;
- Feasibility studies;

- Existing conditions reports or needs assessments;
- Letters of support;
- Resumes and experience of key personnel;
- For Historic Preservation projects, if the project is not State Register-listed, the applicant must provide a letter from the Historical Commission which details the significance of the project to Great Barrington's history, culture, architecture or archeology.

Funding Considerations

6.) Consistency: Describe how the proposed project is consistent with the Community Preservation Plan and with the Great Barrington Master Plan.

The Trust's goals and projects are consistent with both the Community Preservation Plan and the Great Barrington Master Plan. Both recognize Great Barrington's long-standing housing affordability problem, which exists largely because visitors and residents alike have found a welcoming and attractive town. Up until a few years ago, despite much effort, barely any affordable housing options could be found in the town. (continued on Page 7 of attached sheets).

7.) Town Projects: Is the proposed project for a town-owned asset? Yes No

If yes, please describe funding options. For example, what portion of the project budget is CPA funding? If CPA funds are not received, what are the alternative funding options, if any?

Any asset the Trust acquires is considered a town-owned asset. Disposition of that asset will be subject to Massachusetts procurement regulations and will be widely advertised and carry restrictions. If CPA funds are not received, the work of the Trust to help meet the affordable housing goals of the Master Plan will not go forward (see Appendix 1, page 12). (Continued on Page 10 attached.)

8.) Public Benefits: Describe the public benefits of the project.

All Trust programs benefit Great Barrington residents and taxpayers across a spectrum of experiences, providing an opportunity for them to be part of the solution to the local housing crisis. (continued on Page 11 attached).

9.) Leverage: Will the CPA funds be used to leverage or supplement other funding for this project? Please explain other sources and whether they have been committed.

Whenever possible CPA funds are used to leverage additional sources of funding for Trust programs, including appropriations in the town's annual budget (for example, the short-term rental community impact appropriation), state grants, private donations and other sources. CPA funds supporting the North Plain Road affordable housing site were crucial to the Trust securing a \$3.2 million Mass Works grant for infrastructure and a multimillion dollar commitment from Habitat for Housing for construction funding. (continued on Page 1 of attached sheets).

10.) Community Input and Support: Describe any community input, meetings and/or support that you have for your proposed project. Include support letters as applicable (they will not be counted towards the 4-page limit). Letters should be unique and not reproduced form letters.

All affordable housing projects include widely advertised community meetings to gather input and the public regularly attends monthly Trust meetings. Public input is vital in shaping programs to meet community need. (Appendix 4 has support letters)

11.) Permits: Describe permits that may be required, the status of those permits or applications, and/or when the applications will be submitted and permits received.

Permits will be obtained as required.

Affordable Housing Projects

12.) Affordable Housing Projects: Clearly describe how the project meets the Affordable Housing goals of the Community Preservation Plan.

The Community Preservation Plan clearly states that "the town needs more affordable housing." The effects of the pandemic exacerbated the already severe housing crisis, driving supply to the lowest levels (0% vacancy for rental units) and prices to the highest levels the town has ever seen. The Trust was created to address these issues by keeping people in their homes, assisting with the purchase of affordable housing, and to help create new affordable housing units. The 2020 Great Barrington Housing Study's top two recommendations are to "continue rental assistance programs, particularly emergency rental assistance" and to "continue down payment assistance programs." (continued on Page 6 of attached sheets).

13.) Affordability Level(s):

<u>100</u> % of area median income	no. of units _____
<u>80</u> % of area median income	no. of units _____
_____ % of area median income	no. of units _____

14.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation?

Taken together, Trust programs offer an opportunity for Great Barrington residents and taxpayers across a spectrum of experiences to be part of the solution to the housing crisis. The Trust is therefore taking the unusual step to request the maximum the CPC can apply to affordable housing – to fund the Trust as the official town body tasked with advancing affordable housing to accept, review, fund and oversee all applications and projects related to affordable housing. In this way, the Trust will answer the urgency of the housing crisis efficiently while minimizing redundancy.

Historic Preservation Projects

Applicants should note: all CPA-funded historic preservation projects must comply with the US Secretary of the Interior's standards for the treatment of historic properties.

15.) Historic Preservation Projects: Clearly describe how the project meets the Historic Preservation goals of the Community Preservation Plan.

16.) Other Information: Describe any other relevant information about the project and the site. For example: is the site zoned for the proposed use and if not what is the plan for zoning approvals; does the project reuse a building or previously-developed site; is the site or could the site be contaminated and if so what is the plan for remediation.

Open Space and Recreation Projects

17.) Open Space and Recreation: Clearly describe how the project meets the Open Space and Recreation goals of the Community Preservation Plan.

18.) Other Information: Describe any other relevant information about the project and the site. For example: Is the site zoned for the proposed use and if not what is the plan for zoning approvals? Does the project reuse a building or previously-developed site? Is the site or could the site be contaminated and if so what is the plan for remediation.

Certification

19.) This application was prepared, reviewed, and submitted by:

Name: ANANDA TIMPANE

Ph: 413-329-8707 Email ananda.timpaine@gmail.com

I hereby certify that all of the above and included information is true and correct to the best of my knowledge. [For non-municipal applicants only: I further declare my willingness to enter into a Contract with the Town of Great Barrington to govern the use and expenditure of CPA funds.]

Signature: Ananda Timpaine

Date: 12/2/2025

All hard copies of the entire application package, and one PDF of the entire application package, are due prior to the 4:00 PM deadline.

Number all pages.

3. Existing use or deed restrictions, permanent easements, historic designations, special permits, etc. if any:

Where programs support housing development, the Trust requires units be restricted for AMI-eligible residents. The number of units to be restricted and the period of restriction varies by program and type of development beginning at a minimum of a 10-year restriction and extending to up to a 30-year or a permanent restriction. 0% Down Payment Loans provide 0% loans to income-eligible applicants seeking to become homeowners. Loans are paid back upon the sale of the house. A lien is recorded with the deed for the full amount of the award.

5. Describe the project team, including project management personnel, design professionals...

In this way, the Trust will answer the urgency of the housing crisis in our community efficiently while minimizing redundancy.

The Trust is uniquely positioned to do this. Members are appointed for three-year terms by the Select Board, to whom the Trust is answerable (see Appendix 3 for a List of Board Members and brief bios, pg 17). The Trust is subject to the Open Meeting Law and state procurement requirements. Meetings are held regularly with posted agenda and recorded minutes.

The Trust includes members with a range of experience in local housing market, construction, project management, finance, architecture, and community organizing. As a Great Barrington town board, the Trust operates programs and collaborates with non-profit affordable housing organizations such as Construct, Inc., Habitat for Humanity, and the Southern Berkshire Community Development Corporation. Additionally, through the Accessory Dwelling Unit Pilot Program and the Affordable Housing Development Program, the Trust works directly with individual taxpayers to create new affordable housing in the Town (see Appendix 8 for an ADU Program Overview and Rubric, pg. 28; and Appendix 9 for the Developer RFP and Rubric, pg. 33.) A timeline is attached as Appendix 4, pg. 18.

Additional Information:

- Project timeline
- Letters of Support
- Resumes and experience of personnel
- Map/Existing conditions reports or needs assessments: Risingdale?

6. Consistency: Project consistent with Community Preservation plan/Master plan

Five years ago, the exodus of many from cities during the pandemic significantly change the local housing market, dramatically increasing housing costs and causing a severe loss of affordable rentals in the area. In the years since, increases in overall cost of living has combine with the sustained strain on housing locally – just is this past year the median sale price for a house in Great Barrington was \$700,000.

What was a crisis a few years ago has rapidly become a new norm of affordability exacerbating trends that push people living and working in Great Barrington out of the housing market. According to data from the most current Great Barrington Housing Study, commissioned by the CPC and paid for with CPA funds, there is an urgent need for more affordable housing in Great Barrington. In fact, 45% of current renters are considered either cost burdened (25%) or severely cost burdened (20%), while 20% of

homeowners are cost burdened (15%) or severely cost burdened (5%). In addition, 68% of South County renters and 47% of South County homeowners are eligible for affordable housing.

The Master Plan recommended the creation of the Trust (Strategy HO 2.4) as a central coordinating source for the town's affordable housing programs. The Master Plan outlined key strategies that the Trust is implementing through its programs, such as proactively creating affordable housing, down payment assistance to help people purchase a home, and housing stabilization in the form of short-term emergency rental assistance to keep people in their existing homes. This past year, the Trust's accessory dwelling unit (ADU) pilot program (Strategy HO 2.7, 2.8) opened for applications, which was a central element of the Plan's housing program to encourage efficient land use, and the first funded project was completed this fall. The Trust also develops new affordable housing in both existing buildings this includes the FY23 Sumner Block CDC Project and the FY24 Curletti project in Housatonic, and new construction such as the Habitat project on Prosperity Way and the Risingdale Ball Field property, which will also be developed as new affordable housing with input from the Housatonic community and neighbors.

Requested funds will secure and increase access to affordable housing for the residents of Great Barrington through 5 core activities of the Trust that align closely with the 2024 CPC Community Preservation Plan. Trust programs work directly to create solutions to this housing crisis:

- A. **Housing Stabilization** provides direct support to Great Barrington renters to secure precarious housing situations in emergencies and prevent homelessness. In a joint effort to increase efficiency we are submitting a single application with support from Construct to continue to fund this work in Great Barrington.¹

The Trust receives quarterly reports from Construct with updates on the level of need, program use, and a financial report. By evaluating the program in real time, the Trust is positioned to make new grants only when funding is fully spent down without leaving gaps in vital services. Funding is dispersed to Construct on a cost reimbursement basis, with funds leaving the Trust only at the time an invoice for services rendered in the previous quarter is received.

- B. **0% Down Payment Loans** provide 0% loans for down payment assistance to income eligible applicants seeking to become homeowners (see Appendix 9: 0% Down Payment Loans Description). As the housing market is adjusting and some houses within the \$250,000 range are becoming available in Great Barrington, we saw a renewed use of this program in FY24 and FY25.

In FY25, the Trust received 3 applications for Down Payment Loans, 2 of which were eligible and approved, while in FY24, the Trust received and approved 3 applications. Since the start of the program in FY19, the Trust has made a total of 10 such loans. In FY26, we are providing for a higher number of loans (7) in our budget to accommodate this and 5 closings at the North Plain Road site, Prosperity Way.

Successful applicants to the program are families with an AMI of 100% or less (most often less), who are able to obtain a mortgage promissory note from a mortgage lender. Once approved, the loan is made at 0% interest. Repayment to the Trust is due upon sale of the home.

¹ Construct has agreed to support a single application by the Trust rather than apply for CPA funds directly and instead will apply to the Trust for funding.

- C. **Accessory Dwelling Unit (ADU) Program**, a new initiative to partner with Great Barrington homeowners to add ADUs to the market at affordable rental rates, launched in November 2024. Funding requested here will continue the program into FY27.

The ADU program was developed for piloting over the course of FY24. The pilot opened for applications at the start of November, 2024 with the application window closing after a 3-month window. The pilot received several applications, only one of which met all of the eligibility requirements. (That project is now complete and occupied.) The Trust will reopen applications this year, after completing a review of the pilot and adjusting the program to best achieve the intended results.

The program is designed to leverage town recourses to add new, income restricted, affordable rental units to the housing market; to foster direct partnerships with Great Barrington resident homeowners to do so; and to provide additional financial support in the form of rent to resident homeowners who are struggling to meet the cost of living in Great Barrington.

Applicants must be Great Barrington residents (or have a current and valid purchase and sale agreement to buy a home in Great Barrington) living on the property the ADU will be built on. Projects are selected based on the project viability, quality of the ADU as a living space, location, cost effectiveness, project impact and the financial need of the applicant (see Appendix 8: ADU Program Overview and Rubric, pg. 28).

The loan structure and its administration are detailed in the Program Overview provided in Appendix 8, on page 29. Up to 50% of the loan amount is available for disbursement at the start of the project. The remaining portion is distributed as a cost reimbursement upon verification of completion of work, or portions thereof, and at such intervals as the AHT determines appropriate for the project being funded. The loan documents must be signed prior to any disbursement. If the unit created is occupied continuously for 10 years by an eligible tenant or tenants, the loan will be 100% forgiven after that 10-year period.

- D. **Affordable Housing Development Program**, formalized in 2023 into a rolling application and RFP, when funded, this program provides grants to non-profits – such as Construct & Habitat – and private developers to develop income-restricted affordable housing options in Great Barrington. Should the CPC fully fund this application, this program would prevent redundancy and increase efficacy by directing all applications for CPA funds for housing directly to the Trust. Applicants may respond to the RFP (see Appendix 9, pg. 33) on a rolling basis, with applications due by the first of each month for review by the Trust at the following meeting. Applications must include:
- A letter of interest – outlining the project and alignment with the Trust’s mission.
 - A narrative description – including the concept, number of affordable units their sizes and living space description, and how the project will meet the housing needs of Great Barrington.
 - Project scope and timeline – complete timeline from acquisition and financing to construction and occupancy.
 - Experience and capabilities – an overview of relevant development and property management experience.
 - Organization chart and key personnel – including names and responsibilities.
 - 5 References – including relevance and contact information.

- Budget and budget narrative – Amount and source of all funds, 10-year operating pro-forma to reflect income and expenses, and development financing plan.

Application meeting minimum threshold criteria (see pg. 36) are evaluated based using an evaluation rubric (see) based on 7 criteria outlined in the RFP:

- i. Project Viability
- ii. Capabilities Consistent with the Scope of the Project
- iii. Living Space Proposed
- iv. Affordability
- v. Location
- vi. Cost Effectiveness
- vii. Impact

Working on a rolling-basis in this way, allows the Town to be responsive to emerging opportunities and needs and to advance affordable housing quickly and efficiently when opportunities do arise. For example, in FY23, SBCDC approached the Trust with a proposal to purchase the Marble Block Building and secure it as affordable housing, which the Trust supported. When, SBCDC discovered additional information leading up to the finalization of the sale, that prevent the project from moving forward, they were able to come back to the Trust quickly with that information and a proposal to instead purchase the Sumner Block Building. With the Trust’s support the Sumner Block was purchased by SBCDC for affordable housing units. This occurred quickly with updates and changes made over the course of a handful of monthly meetings of the Trust.

- E. **Property Acquisition Initiative** is an ongoing initiative of the Trust to seek and acquire property at or below market value for development into deed-restricted affordable housing. The Trust has unique powers for property acquisition with CPA funds. CPA funds in the hands of an Affordable Housing Trust are exempt from Chapter 30B rules, allowing the Trust to move quickly to purchase properties for affordable housing without a prolonged bid process. In our housing market, where low-cost acquisition opportunities are few and far between, this is a critical tool at the disposal of the town.

Under this initiative, the Trust used this process to purchase the North Plain Road (formerly Alden) parcel, which is under development to build 20 affordable houses for families. This past January the Trust purchased the former Rising Ball Field in Housatonic from the Berkshire Natural Resources Council (BNRC), as part of their efforts to identify land held by BNRC that is best used for affordable housing and working with Affordable Housing Trusts to transfer land for that purpose. This fall, the Trust began a process to seek input from Housatonic residents and neighbors as we move forward to develop the property for affordable housing.

7. Town Projects: Is the proposed project for a town-owned asset?

Alternate funding sources continue to be explored including Great Barrington town budget general funds, and Mass Works and other grants. However, the Trust’s work and efficacy is dependent on our ability to leverage funding from outside sources against CPA funds provided through the CPC approval process. When CPA funds are in place, each of the Trust’s programs and initiatives is designed to leverage other public and private resources and funding.

8. Public Benefits

All Trust programs benefit Great Barrington residents and taxpayers across a spectrum of experiences, providing an opportunity for them to be part of the solution to the local housing crisis. Housing Stabilization benefits those who have been displaced from the workforce by the economic crisis to prevent homelessness while benefiting landlords through timely payments and financial protection while offering them the chance to provide affordable housing to vulnerable populations. 0% Down Payment Loans assist income-qualified applicants to purchase homes, making the process affordable and maintaining housing for the town's workforce. ADU, Affordable Housing Development, and Site Acquisition allow the Trust to identify and support projects that will increase the supply of affordable housing to meet the great need in the town.

9. Leverage

A core component of the Housing Stabilization program is providing financial counseling where applicants are guided to apply for other funds from the state and from Berkshire Taconic Community Foundation.

0% Down Payment Loans use a loan of 10% of the total property cost (on average \$25,000) to leverage the remaining 90% of the purchase price through a mortgage from a qualified financial institution. Using \$370,000 as the average median value of homes as identified in the Community Preservation Plan, this means each 0% down payment loans leverages up to an additional \$345,000 in a bank mortgage. As an example, when the Trust provides 5 \$25,000 0% down payment loans, an additional \$1,725,000 can be leveraged through mortgages.

The ADU Program and Developer RFP both are structured to require the applicant leverage additional resources and funds to demonstrate project viability at the application stage.

12. Affordable Housing Projects

These are precisely the programs for which we are requesting funding. The need goes beyond rental and down payment assistance and ultimately comes down to the availability of affordable housing. Sadly any "affordable" house that comes on the market is often grabbed up by developers. The Trust would like to leverage the purchase of land to develop permanently restricted affordable housing in distributed sites throughout Great Barrington. We can no longer rely solely on the marketplace to provide affordable home ownership opportunities.

APPENDIX

APPENDIX 1	Budget & Narrative	Step 2, page 13
APPENDIX 2	Letters of Support	Step 2, page 14
APPENDIX 3	Board Members List	Step 2, page 17
APPENDIX 4	Timeline	Step 2, page 18
APPENDIX 5	AMI Table	Step 2, page 20
APPENDIX 6	FY25 Financial Report	Step 2, page 21
APPENDIX 7	FY26 Q1 Financial Report	Step 2, page 26
APPENDIX 8	ADU Program and Rubric	Step 2, page 28
APPENDIX 9	Developer RFP & Rubric	Step 2, page 33
APPENDIX 10	North Plain Road	Step 2, page 43
	a. Summary	page 43
	b. Habitat Report	page 44

APPENDIX 1

STEP 2, BUDGET AND NARRATIVE

The Trust is taking the unusual step to request \$675,000.00, the maximum CPC could apply to housing, to answer the urgency of the housing crisis in our community. The Trust has 5 core programs that work directly with Great Barrington residents and tax payers – renters, homeowners, non-profits and developers – to create solutions to the community’s housing crisis. The following is the projected Trust budget for FY27.

Trust Program	Budget Amount	CPA Funds Requested	STR Impact Appropriation
Housing Stabilization	\$95,000	\$75,000	\$20,000
Down Payment Loans	\$100,000	\$75,000	\$25,000
ADU Program	\$100,000	\$100,000	
Affordable Housing Development	\$275,000	\$275,000	
Property Acquisitions & Site Development	\$150,000	\$150,000	
	\$720,000	\$675,000	\$45,000

For FY27, funding from Town sources (including CPA) will be determined through committee recommendations and vote at Town Meeting in May 2027. The Trust is projecting an estimated \$45,000 in Short Term Rental (STR) community impact appropriation.

The Trusts requests the CPC continue funding for housing stabilization and emergency rental assistance with a proposed offset of \$20,000 from the Short-Term Rental appropriation. In FY27, we expect additional closings for housing on the North Plain Road (or Prosperity Way) site as Habitat begins phase 2 construction. This request provides for 4 down payment loans in FY27, which will also in part (\$25,000) be funded through the STR appropriation. Each down payment loan, leverages additional funding for the remaining 90% of the property costs to be obtained by the buyer. In rough terms, 5 Trust down payment loans at \$25,000 each leverage up to \$1,725,000 in additional funds through mortgages.

The budget requests CPA funding for the ADU Program, Affordable Housing Development Grant/Loan program at \$100,000 and \$275,000 respectively. Both of these programs require applicants to leverage CPA funds from the Trust against other funding sources and financing for each proposed project. We are requesting \$150,000 in CPA funds for Property Acquisition and Development.

These activities of the Trust take advantage of its unique strengths to create innovative solutions to the Town’s Housing crisis (like the ADU pilot) and move quickly to responded to opportunities to acquire or support the acquisition and development of properties by non-profits and private developers in fast paced market.

All Trust programs directly serve Great Barrington residents with incomes at or below average median income (AMI). Where programs support housing development, the Trust requires units be restricted for AMI eligible residents. The number units restricted and period of restriction varies by program and type of development beginning at a minimum of a 10-year restriction and extending to up to a 30-year and permanent restriction.

APPENDIX 2
LETTERS OF SUPPORT



316A STATE ROAD
GREAT BARRINGTON, MA 01230
PH 413-528-1985 | FX 413-528-0192
info@constructberkshire.org

OFFICERS

November 20, 2025

Betty Farbman
President

Lisa Beede/Janet Zimmerman
Co-Vice Presidents

Hinda Bodinger
Secretary

Peter Dunphy
Treasurer

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Christa Montano
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Community Preservation Committee
334 Main St.
Great Barrington, MA 01230

Dear Karen,

I am writing in support of the Great Barrington Affordable Housing Trust's FY27 funding request. The Trust, Construct, and the Town have a solid record of working together, and continued support will help us expand access to safe, affordable housing and essential services for Great Barrington residents.

Flexible funding within the Trust matters. Housing needs shift quickly, and having a Trust that responds to requests that emerge in real time makes such a difference! For years, the Great Barrington Affordable Housing Trust has made it possible for Construct to better meet southern Berkshire affordable housing needs as they arise.

Construct also applauds initiatives that the Great Barrington Affordable Housing Trust leads whether in partnership with us or individual Great Barrington Residents. These efforts strengthen the town's overall ability to create, support, and maintain affordable housing in Great Barrington.

Therefore, Construct supports robust funding for the Affordable Housing Trust, even if it means that more of our individual funding flows through the Trust rather than directly from the CPA. We are all working toward the same outcome: stable, accessible housing for the people of Great Barrington.

Sincerely,

Hillary Howard
Director of Operations
Construct



WWW.CONSTRUCTBERKSHIRES.ORG



December, 2025

Great Barrington CPA Committee
334 Main St
Great Barrington, MA 01230

RE: Support for Great Barrington Affordable Housing Trust's CPA application

To the Chair and CPA committee members,

Central Berkshire Habitat for Humanity is pleased to support The Great Barrington Affordable Housing Trust Fund (Trust) application for Community Preservation Act funding. Central Berkshire Habitat for Humanity has worked with Trust on a rehab on Grove Street in Great Barrington and the twenty houses at Prosperity Way. The Trust's support in purchasing the land has been critical to the success of these projects. We hope that an RFP will come out in the near future that will assist in making the units more affordable.

As an affordable housing agency, Habitat is acutely aware of housing challenges in Berkshire County. In addition to new housing at Prosperity Way, the community needs programs for short term housing, support for homeowners and first-time buyers, and for those who are cost burdened by housing costs. We applaud the programs the Trust has developed for housing stabilization, down payment assistance, and incentives to create new housing. Working together, we can ensure safe and accessible housing.

The Trust is well positioned to coordinate all of the town's affordable housing efforts. The housing marketplace is ever changing and having a flexible funding source through the Trust that can respond quickly when existing affordable housing is threatened can make all the difference.

Central Berkshire Habitat for Humanity supports the CPA committee's commitment to affordable housing for the people of Great Barrington. We encourage the CPA to continue to fund the Great Barrington Affordable Housing Trust Fund.

Sincerely,

A handwritten signature in blue ink that reads "Carolyn Valli".

Carolyn Valli
CEO



November 28, 2025

Great Barrington CPA Committee
334 Main St
Great Barrington, MA 01230

RE: Support for Great Barrington Affordable Housing Trust's CPA application

To the Chair and CPA committee members:

I am pleased to support The Great Barrington Affordable Housing Trust Fund (AHFT) application for Community Preservation Act funding. Community Development Corporation of South Berkshire CDCSB has worked with AHFT on programs to create, protect and preserve historically affordable housing. The funds provided by AHFT have often been critical to the success of these projects.

Affordable housing is a crucial component of a vibrant, thriving community and remains a daunting issue in our area. There is no single solution, but it requires effort at multiple levels and with multiple partners. The Trust has worked to develop programs for housing stabilization, down payment assistance, and incentives to create new housing. To achieve stable, accessible housing in Great Barrington, we need projects that satisfy all of these components, and more. We are all working together to ensure safe and accessible housing.

The housing marketplace can change quickly, and having a funding source through the Trust that is able to respond quickly when existing affordable housing is threatened can make all the difference. There are advantages to having the Trust coordinate all of the town's affordable housing efforts. CDCSB supports the CPA committee's commitment to affordable housing for the people of Great Barrington.

Sincerely,

Stephanie Lane

Stephanie Lane
Executive Director

Board of Directors

James Harwood,
President

Eric Aulicino
Cara Becker
Erik Bruun
Eugene Carr
Thomas Doyle
Robin Helfand
Dennis Iodice
Donna Norman
Richard Stanley
David Thorne
Cameron Volastro

Stephanie Lane,
Executive Director

PO Box 733
Great Barrington, MA 01230
413.528.7788
cdcsb.org

APPENDIX 3 AHTF BOARD MEMBERS

Fred Clark (Chair), An architect, has served on the Berkshire Hills Regional School District for several years.

Ananda Timpane (Vice-Chair) is Executive Director of Railroad Street Youth Project. A life- long South County resident, she grew up in Great Barrington in a family of home builders. "Ensuring that all people in our economically diverse community have pathways to homes, here in our collective home, is critical to securing a thriving future for Great Barrington."

Bill Cooke was a member of the Great Barrington Selectboard for 6 years.

Krysia Kurzyca, a children's book author, owns an organic herb farm and runs a medicinal plants farm and CSA.

Joseph Method is a software developer who is concerned about the housing availability and affordability crisis.

Peter Most, an attorney, is a member of the Great Barrington Zoning Board of Appeals and columnist for the Berkshire Edge focusing on housing issues in South County.

Garfield Reed is a member of the Great Barrington Selectboard. "My home was purchased many years ago with the help of Construct. I am passionate about helping everyone find a place they can afford and call their own."

APPENDIX 4
TIMELINE

Reviewed on an ongoing basis:

- Trust Financial Reports
- Down Payment Loan Applications*
- Responses to the Developer RFP*
- New Acquisition Opportunities

*Both programs are open to applications as long as funds are available.

FY26 Timeline

Month	Activity	Month	Activity
January	Review: <ul style="list-style-type: none"> • 2nd Quarter Construct Report Review report on community input for Rising Ball Field development process. CPC Report: <ul style="list-style-type: none"> • 2nd Quarter Financials Release Developer RFP	April	Review: <ul style="list-style-type: none"> • 3rd Quarter Construct Report CPC Reports <ul style="list-style-type: none"> • Year to Date Narrative • 3rd Quarter Financial Finalize <ul style="list-style-type: none"> • Rising Ball Field RFP Work Cont. <ul style="list-style-type: none"> • Developer RFP
February	Finalize Rising Ball Field Process & Timeline to RFP Release Begin to receive/review applications for Developer RFP Finalize ADU Program updates	May	ADU application window closes FY26 Budget Discussion
March	Open ADU application window Cont. <ul style="list-style-type: none"> • Developer RFP • Rising Ball Field RFP Work 	June	Draft FY26 Budget Vote on ADU Awards

FY27 Timeline

Month	Activity	Month	Activity
July	Board Reorganization Vote FY27 Budget Vote Review: <ul style="list-style-type: none"> • 4th Quarter Construct Report Open FY27 Developer RFP for Rolling Applications CPC Report:	January	Review: <ul style="list-style-type: none"> • 2nd Quarter Construct Report • ADU Pilot Proposal Process & Awards CPC Report: <ul style="list-style-type: none"> • 2nd Quarter Financials

	<ul style="list-style-type: none"> • 4th Quarter Financials 		
August	FY27 Developer RFP for Rolling Applications	February	Open ADU application window
September	Review and Debrief ADU FY26, set FY27 Timeline CPA Application Discussion FY27 Developer RFP for Rolling Applications (as funds are available, continues month to month)	March	
October	Review: <ul style="list-style-type: none"> • 1st Quarter Construct Report CPC Report: <ul style="list-style-type: none"> • 1st Quarter Financials Step 1 CPA Application Outline Discussion	April	Review: <ul style="list-style-type: none"> • 3rd Quarter Construct Report CPC Reports <ul style="list-style-type: none"> • Year to Date Narrative • 3rd Quarter Financial Close ADU Application Window
November	Submit & Present Step 1 CPA Application	May	FY27 Budget Discussion Vote ADU
December	Submit & Present Step 2 CPA Application	June	FY27 Budget Draft

The Rising Ball Field development timeline of activities for FY27 is yet to be determined.

APPENDIX 5
 AREA MEDIAN INCOME TABLE

Blue text = inputs.

CPA GUIDELINES Area Median Income for Great Barrington, MA
 Calendar Year 2025

https://www.communitypreservation.org/sites/g/files/vyhlf4646/ff/uploads/cpa_low_and_moderate_income_worksheet_for_2025.pdf

Annual Income by Household Size and AMI percentage								
	1 person	2 people	3 people	4 people	5 people	6 people	7 people	8 people
120% of AMI	\$ 91,140	\$ 104,160	\$ 117,180	\$ 130,200	\$ 140,616	\$ 151,032	\$ 161,448	\$ 171,864
100% of AMI	\$ 75,950	\$ 86,800	\$ 97,650	\$ 108,500	\$ 117,180	\$ 125,860	\$ 134,540	\$ 143,220
90% of AMI	\$ 68,355	\$ 78,120	\$ 87,885	\$ 97,650	\$ 105,462	\$ 113,274	\$ 121,086	\$ 128,898
80% of AMI	\$ 60,760	\$ 69,440	\$ 78,120	\$ 86,800	\$ 93,744	\$ 100,688	\$ 107,632	\$ 114,576
60% of AMI	\$ 45,570	\$ 52,080	\$ 58,590	\$ 65,100	\$ 70,308	\$ 75,516	\$ 80,724	\$ 85,932
50% of AMI	\$ 37,975	\$ 43,400	\$ 48,825	\$ 54,250	\$ 58,590	\$ 62,930	\$ 67,270	\$ 71,610
30% of AMI	\$ 22,785	\$ 26,040	\$ 29,295	\$ 32,550	\$ 35,154	\$ 37,758	\$ 40,362	\$ 42,966

CPA Max

Monthly Incomes by household size and AMI percentage								
	1 person	2 people	3 people	4 people	5 people	6 people	7 people	8 people
120% of AMI	\$ 7,595	\$ 8,680	\$ 9,765	\$ 10,850	\$ 11,718	\$ 12,586	\$ 13,454	\$ 14,322
100% of AMI	\$ 6,329	\$ 7,233	\$ 8,138	\$ 9,042	\$ 9,765	\$ 10,488	\$ 11,212	\$ 11,935
90% of AMI	\$ 5,696	\$ 6,510	\$ 7,324	\$ 8,138	\$ 8,789	\$ 9,440	\$ 10,091	\$ 10,742
80% of AMI	\$ 5,063	\$ 5,787	\$ 6,510	\$ 7,233	\$ 7,812	\$ 8,391	\$ 8,969	\$ 9,548
60% of AMI	\$ 3,798	\$ 4,340	\$ 4,883	\$ 5,425	\$ 5,859	\$ 6,293	\$ 6,727	\$ 7,161
50% of AMI	\$ 3,165	\$ 3,617	\$ 4,069	\$ 4,521	\$ 4,883	\$ 5,244	\$ 5,606	\$ 5,968
30% of AMI	\$ 1,899	\$ 2,170	\$ 2,441	\$ 2,713	\$ 2,930	\$ 3,147	\$ 3,364	\$ 3,581

CPA Max

"Affordable" Monthly Housing Costs for those households (i.e., 30% of their monthly income)								
	1 person	2 people	3 people	4 people	5 people	6 people	7 people	8 people
120% of AMI	\$ 2,279	\$ 2,604	\$ 2,930	\$ 3,255	\$ 3,515	\$ 3,776	\$ 4,036	\$ 4,297
100% of AMI	\$ 1,899	\$ 2,170	\$ 2,441	\$ 2,713	\$ 2,930	\$ 3,147	\$ 3,364	\$ 3,581
90% of AMI	\$ 1,709	\$ 1,953	\$ 2,197	\$ 2,441	\$ 2,637	\$ 2,832	\$ 3,027	\$ 3,222
80% of AMI	\$ 1,519	\$ 1,736	\$ 1,953	\$ 2,170	\$ 2,344	\$ 2,517	\$ 2,691	\$ 2,864
60% of AMI	\$ 1,139	\$ 1,302	\$ 1,465	\$ 1,628	\$ 1,758	\$ 1,888	\$ 2,018	\$ 2,148
50% of AMI	\$ 949	\$ 1,085	\$ 1,221	\$ 1,356	\$ 1,465	\$ 1,573	\$ 1,682	\$ 1,790
30% of AMI	\$ 570	\$ 651	\$ 732	\$ 814	\$ 879	\$ 944	\$ 1,009	\$ 1,074

CPA max

APPENDIX 6
 FY25 END OF YEAR FINANCIAL REPORT

Great Barrington Affordable Housing Trust Fund

7/24/25

Summary Report for CPC FY25 4th Quarter Report

<u>Trust Fund revenue sources (since FY18)</u>	<u>amount</u>	<u>% of total</u>
CPA grants	\$ 923,000	83%
Other Town appropriations	\$ 190,000	17%
	\$ 1,113,000	
Special Revenue		
State grants (e.g. Mass Works for N. Plain Rd)	\$ 3,269,000	
Total revenue	\$ 4,382,000	

Details of CPA grants

<u>FY</u>	<u>CPA Grant</u>	<u>CPA spent or encumbered</u>	<u>CPA committed to future projects</u>	<u>CPA balance available</u>
FY18	\$50,000	\$50,000	\$0	\$0
FY19	\$100,000	\$100,000	\$0	\$0
FY20	\$100,000	\$100,000	\$0	\$0
FY21	\$185,000	\$184,485	\$0	\$515
FY23	\$200,000	\$200,000	\$0	\$0
FY24	\$265,000	\$199,205	\$50,000	\$15,795
FY25	\$23,000	\$0	\$0	\$23,000
	\$923,000	\$833,690	\$50,000	\$39,310

Summary of how CPA funds have been / may be utilized:

Spent means the funds have been paid out. Encumbered means the funds are under contract and will be paid out. Committed means the Trust has voted to spend the funds for a particular initiative or project.

- FY18: used for land acquisition deposit; emergency rental assistance.
- FY19: used for 5 first time homebuyer downpayment assistance
- FY20: used for emergency rental assistance
- FY21: used for land purchase; predevelopment engineering to apply for Mass Works grant for N. Plain Rd., which was awarded
- FY23: used for grant for Sumner Block; rental assistance; downpayment assistance (2 awards, making total of 7 downpayment awards to date). Balance of FY23 available for any CPA housing purpose, and a downpayment application is pending
- FY24: Trust voted to commit \$155,000 for ADU pilot program.
- FY25: Town Meeting appropriated \$23,000, not included here since this report is through end of FY24.
- "Available" funds are not encumbered or committed to a particular project because the intent is that they remain flexible, to be used as need / opportunity arises on CPA eligible projects. For example, there could be a downpayment application, a property to acquire, etc.
- Initiatives / Proposed uses of available funds and future CPA funds: to be determined by the Trustees on priority initiatives and/or as opportunities arise; may include rental assistance grants; first time homebuyer assistance

(e.g. for the 20 homes at the Habitat development); affordable ADUs if pilot is successful; other housing grants (e.g. to create affordable units in private-sector projects).

AFHT FY25 BUDGET Draft		PROJECTED				TOTAL ACTUALS & PROJECTED	FY24 DRAFT	
July 1, 2024-June 30, 2025		Budgeted Amount	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter		
Funds								
Community	Starting Balance*	\$ 152,160.00	\$ 152,160.00				\$ 152,160.00	\$ -
Preservation Act	New FY24	\$ 23,000.00	\$ 23,000.00				\$ 23,000.00	\$ -
Town Budget Line Item	Balance (FY18)	\$ 4,786.96	\$ 4,786.96				\$ 4,786.96	\$ -
	New FY24		\$ -				\$ -	\$ -
Down Payment Loan Repayment Income**		\$ -					\$ -	\$ -
	Sub-total:	\$ 179,946.96	\$ 179,946.96				\$ 179,946.96	\$ -
MassWorks		\$ 1,500,000.00				\$ 1,500,000.00	\$ 1,500,000.00	\$ -
	Total	\$ 1,679,946.96	\$ 179,946.96	\$ -	\$ -	\$ 1,500,000.00	\$ 1,679,946.96	\$ -
Expenditures								
Administration (fees, advertising etc)		\$ 5,000.00	\$ -		\$ 1,551.72		\$ 1,551.72	\$ 3,448.28
Emergency Rental Assistance***		\$ 25,000.00	\$ -				\$ -	\$ 25,000.00
0% Down Payment Loan Program		\$ 50,000.00	\$ -	\$ 49,000.00			\$ 49,000.00	\$ 1,000.00
ADU Pilot Program			\$ -				\$ -	\$ -
Affordable Housing Development Grants			\$ -				\$ -	\$ -
Property Acquisitions Initiative		\$ 86,850.00	\$ -		\$ 86,850.00		\$ 86,850.00	\$ -
	Sub-total:	\$ 166,850.00	\$ -	\$ 49,000.00	\$ 88,401.72	\$ -	\$ 137,401.72	\$ 29,448.28
North Plain Road Development		\$ 1,500,000.00			\$ -	\$ 1,500,000.00	\$ 1,500,000.00	\$ -
	Total	\$ 1,666,850.00	\$ -	\$ 49,000.00	\$ 88,401.72	\$ 1,500,000.00	\$ 1,637,401.72	\$ 29,448.28
	Budgeted Balance	\$ 13,096.96						\$ 13,096.96
	Running Balance (on a quarterly basis):	\$ 179,946.96	\$ 130,946.96	\$ 42,545.24	\$ 42,545.24	\$ 42,545.24		\$ 42,545.24

* Carried forward from FY22, FY23 & FY24; see Sources & Expenses for detail.

** Due only upon sale of the home.

*** Last \$50,000 grant made 4/2023 for disbursement into FY24 encumbered from FY18, FY20, and FY23 funds; see Sources & Expenses for detail

GB Affordable Housing Trust's Sources and Expenses

Total Sources \$ 1,113,000.00 *does not include interest income (about \$3,400 in FY24)*
 Total Uses \$ 1,070,454.76
 Balance \$ 42,545.24

6/30/25
 Org: 84100

SOURCES				EXPENSES			BALANCE
Source	Purpose, per TM vote	Town Meeting	Amount	Expenditures	Amount	Date	
General funds				General funds			General funds
FY18	Unrestricted	5/1/17	\$ 15,000.00	Admin fy 18	\$ 484.94	3/2018	
				Admin fy 19	\$ 100.00	8/15/18	
				Bill Cooke reimb for website fees Wix	\$ 156.00	3/11/20	
				Kwik print envelopes	\$ 32.00	3/25/20	
				Construct -feasibility study of Alden land	\$ 9,975.00	6/30/20	
				Record deed for 40 Grove St	\$ 155.00	4/1/21	
				Shoppers Guide advertisements for dp assistance grants	\$ 205.80	5/5/21	
				Bill Cooke reimb for website fees Wix.com	\$ 165.75	2/16/22	
				Wix.com (2 years Nov 2022- Nov 2024)	\$ 267.75	12/23/22	
				Berk Eaele advert for RFP (Oct 2023)	\$ 165.80	11/13/23	
FY24	Any eligible purpose	5/1/23 article 20	\$ 175,000.00 avail 7/1/2023	RFP grant award to 121 Front Street (create 2 units)	\$ 150,000.00	11/21/23	
				Down payment assistance grantee 8 (partial of \$24K total)	\$ 23,305.00	4/16/24	
				administrative and reporting support (500 authorized)	\$ 200.00	5/3/24	
				Recording fee (155) and excise fee (396.72) to record Deed for purchase of Rising ballfield parcel	\$ 551.72	1/6/25	
				grant writing support	\$ 1,000.00	1/9/25	
tdb	STR Community Impact appropriation	tdb ~71K +	\$ -				
TOTAL NON-CPA REVENUE					\$ 186,764.76		\$ 3,235.24

CPA	CPA	CPA	CPA	CPA	CPA	CPA	CPA
FY18	Any CPA housing purpose	5/1/17 article 13	\$ 50,000.00	Acquisition payment 1, Alden parcel	\$ 1,750.00	9/18/19	
				Acquisition payment 2, Alden parcel	\$ 7,000.00	1/8/20	
				Emergency rental assistance (CONSTRUCT first contract)	\$ 35,000.00	4/7/20	
				Registry of deeds to record North Plain Rd special permit	\$ 105.00	5/15/23	
				Rental assistance, via Construct (Trust voted Apr. 2023)(portion)	\$ 6,145.00	4/18/23	
					\$ 50,000.00		\$ -
FY19	Down payment assistance	5/7/18 article 11	\$ 100,000.00	Down payment assistance grantee 1	\$ 11,805.00	10/31/18	
				Down payment assistance grantee 2	\$ 23,500.00	7/24/19	
				Down payment assistance grantee 3	\$ 14,000.00	1/4/21	
				Down payment assistance grantee 4	\$ 25,000.00	4/1/21	
				Down payment assistance grantee 5	\$ 25,000.00	6/16/21	
				Down payment assistance grantee 8 (partial of \$24K total)	\$ 695.00	4/16/24	
					\$ 100,000.00		\$ -
FY20	Down payment or Rental assistance	5/6/19 article 13 revised by article 20 6/22/2020	\$ 100,000.00	Emergency rental assistance (CONSTRUCT)	\$ 15,000.00	1/26/21	
				Emergency rental assistance (CONSTRUCT)	\$ 50,000.00	2/9/21	
				Rental assistance, via Construct (Trust voted Apr. 2023)(portion)	\$ 35,000.00	4/18/23	
					\$ 100,000.00		\$ -
FY21	Acquisition of Alden parcel	6/22/20 article 19	\$ 185,000.00	Acquisition of Alden parcel	\$ 169,685.00	7/8/20	
				Survey, engineering, predevelopment	\$ 14,800.00	1/5-3/16/22	
					\$ 184,485.00		\$ 515.00
FY23	Acquisition, Creation, or Support <i>can be used for acquisition, creation or support.</i>	6/6/22 article 18	\$ 200,000.00	Summer Block CDC project, voted March 2023	\$ 100,000.00	3/21/23	
				Rental assistance, via Construct (Trust voted Apr. 2023)(portion)	\$ 8,855.00	4/18/23	
				Down payment assistance grantee 6	\$ 25,000.00	12/6/23	
				Down payment assistance grantee 7	\$ 24,500.00	1/16/24	
				Down payment assistance grantee 9	\$ 24,000.00	11/19/24	
				Down payment assistance grantee 10 (partial of 25K)	\$ 17,645.00	11/19/24	
					\$ 200,000.00		\$ -
FY24	Any CPA housing purpose	5/1/23	\$ 265,000.00	ADU pilot	\$ 155,000.00		
				Down payment assistance grantee 10 (partial of 25K)	\$ 7,355.00	11/19/24	
				Purchase of Rising ballfield on Park Street	\$ 86,850.00	12/19/24	
					\$ 249,205.00		\$ 15,795.00
FY25	Any CPA housing purpose	5/6/24 article 18	\$ 23,000.00		\$ -		\$ 23,000.00
TOTAL CPA REVENUE					\$ 923,000.00		\$ 39,310.00
					CPA spent or encumbered		CPA balance
					\$ 883,690.00		\$ 39,310.00

Total all funds	Total all funds in:	total spent or encumbered	balance available all funds
\$ 1,113,000.00	\$ 1,113,000.00	\$ 1,070,454.76	\$ 42,545.24

1ST QUARTER
7/1/24-9/30/24

Funds Narrative	<p>The Trust started FY25 carrying over \$156,946.96 from the previous fiscal year. \$515.00 in FY21 CPA funds restricted to the Alden/North Plain Road property; and \$41,645.00 in FY23 CPA funds restricted acquisition, creation and/or support. \$4,986.96 is unrestricted funds carried over from the FY23 Town budget line item. The FY24 budget and first quarter funds also reflect new funds received by the Trust in FY24 in the amount of \$23,000 in CPA funds restricted to any CPA housing purpose. The Trust projects no income from Down Payment Loan repayments in FY25. Loans are due upon the sale of the home. We do not anticipate any homes in the program will be sold in FY25. Finally, the Town & Trust are the recipients of at state MassWorks grant to support infrastructure development for the North Plain Road development. The total award is for \$3.2 million, on a cost reimbursement basis. We anticipate \$1.5 million will be received and utilized in FY25, with ground breaking on the project in October 2025.</p>
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Expenditures Narrative	<p>No expenditures were made in the first quarter. The Rental Assistance program funding and contract, administered through Construct, was last renewed in April 18, 2023 at \$50,000 using remaining CPA funds from FY18 (\$6,145), FY20 (\$35,000) and FY23 (\$8,855) to provide funds through FY24. As of August 1, 2024, there is a balance of \$15,971 remaining on the grant for distribution through the program. Construct provides reports to the Trust on a quarterly basis along with invoicing. During the first quarter, the Trust worked with Town Counsel and staff to finalize the ADU Pilot program. An MOU with Construct for program administration will be finalized in October and the application period announced at the October meeting of the Trust. The ADU Pilot one time budget is \$155,000 for the project, with \$150,000 for loans convertible to grants and \$5000 for project administration. At the September meeting, the Trust voted to acquire land from Berkshire Natural Resources Council in Housatonic, that had previously been part of Rising Paper property for the amount of \$86,850. The closing is expected to occur in January, 2025. The environmental study will be funded through BRPC funds. The Town Manager's budget will cover closing costs. There were no applications for down payment assistance during this quarter.</p>
------------------------	--

2nd QUARTER
10/1/2024-12/31/25

Funds Narrative	<p>No funds received.</p>
-----------------	---------------------------

Expenditures Narrative	<p>Construct submitted it's a July-October 2024 report on emergency rental assistance. In that period there were 13 assists in GB, supporting 21 individuals, (average household, 2.2) and 7 landlords. Construct only uses AHTF funding when all other funding sources are expended. No AFHT funds were required in this period, the balance of \$15,971.00 the grant carries forward into the next reporting period. In this period, they were able to fund all assists with other funds. ADU advertizing budget not to exceed \$500 approved 6-0. At the November meeting, the Trust reviewed two down payment loan applications: Guidi, Oak Street, Housatonic, requesting \$24,000 and approved 6-0; and, Troiano, North Plain Road, requesting \$25,000, and approved 6-0. Rising Ballfield Parcel 255 Park Street purchase for \$86,850.00 closed on 12.19.2024.</p>
------------------------	---

3rd QUARTER

1/1/2025-3/31/2025

Funds Narrative	No funds received.
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Expenditures Narrative	Rising Ballfield Parcel 255 Park Street purchase recording fee (155) and excise fee (396.72) to record Deed for purchase of Rising ballfield parcel, grant writing support \$1000. Construct report (no spending). March 18th the Trust reviewed the recommendation on ADU forgivable loan award and voted to accept the recommendation for 1 grant at \$100,000.
------------------------	---

4th QUARTER

4/1/2025-6/30/2025

Funds Narrative	\$1.1 million has been expended from the MassWorks grant.
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Expenditures Narrative	As of May 22, \$51,000 was expended in MassWorks funds on White Engineering and \$1,067,785 on Rifenberg (the general contractor). Construct report (no spending). Construct balance on April 2024 grant continues at \$15,971.00. (Our understanding is that Construct uses other sources of funding for emergency rental assistance before using AHTF dollars, including other CPA funds.)
------------------------	--

APPENDIX 7
 FY26 AHTF BUDGET – 1st Quarter

AFHT FY26 BUDGET		PROJECTED				TOTAL ACTUALS & PROJECTED	FY26	
July 1, 2025-June 30, 2026		Budgeted Amount	1st Quarter	2nd Quarter	3rd Quarter	4th Quarter		
Funds								
Community Preservation Act	Starting Balance*	\$ 44,310.00	\$ 44,310.00				\$ 44,310.00	\$ -
	New FY26	\$ 375,000.00	\$ 375,000.00				\$ 375,000.00	\$ -
Town Budget Line Item	Balance (FY18)	\$ 3,130.00	\$ 3,130.00				\$ 3,130.00	\$ -
	New FY26	\$ -	\$ -				\$ -	\$ -
	Short Term Rental Special Revenue Fund	\$ 71,747.14	\$ 71,747.14				\$ 71,747.14	
	Interest Earned through Oct 2025	\$ 12,745.00	\$ 12,745.00				\$ 12,745.00	
	Down Payment Loan Repayment Income**	\$ -					\$ -	\$ -
	Sub-total:	\$ 506,932.14	\$ 506,932.14				\$ 506,932.14	\$ -
MassWorks							\$ -	\$ -
	Total	\$ 506,932.14	\$ 506,932.14	\$ -	\$ -	\$ -	\$ 506,932.14	\$ -
Expenditures								
	Administration (fees, advertising etc)	\$ 3,130.00	\$ -		\$ 500.00		\$ 500.00	\$ 2,630.00
	Housing Stabilization***	\$ -	\$ -				\$ -	\$ -
0% Down Payment Loan Program	N. Plain Road	\$ 150,000.00	\$ -					
	Other	\$ 50,000.00	\$ -				\$ -	\$ 50,000.00
ADU Pilot Program	New Funds	\$ 50,000.00	\$ -				\$ -	\$ 50,000.00
	Encumbered FY24	\$ 45,000.00						\$ 45,000.00
	Affordable Housing Development Grants	\$ 230,000.00	\$ -					
	Property Acquisitions Initiative	\$ -	\$ -				\$ -	\$ -
	Sub-total:	\$ 483,130.00	\$ -	\$ -	\$ 500.00	\$ -	\$ 500.00	\$ 482,630.00
	North Plain Road Development	\$ -			\$ -	\$ -	\$ -	\$ -
	Total	\$ 483,130.00	\$ -	\$ -	\$ 500.00	\$ -	\$ 500.00	\$ 482,630.00
	Budgeted Balance	\$ 23,802.14						\$ 23,802.14
	Running Balance (on a quarterly basis):	\$ 506,932.14	\$ 506,932.14	\$ 506,432.14	\$ 506,432.14	\$ 506,432.14		\$ 506,432.14

* Carried forward from FY21, FY24 & FY25; see Sources & Expenses for detail.

** Due only upon sale of the home.

*** Last \$50,000 grant made 4/2023 for disbursement into FY24 encumbered from FY18, FY20, and FY23 funds; see Sources & Expenses for detail

Narrative

- 9.16.2025, The Trust voted to approve up to \$500.00 for advertising and promotion for the developer RFP when it is released.

No new grants have been made for housing stabilization this fiscal year. We expect the majority down payment loans to coincide with closings on Prosperity Way, which has not yet occurred, but is expected to this year. We have budgeted for 2 additional down payment loans in Great Barrington. The ADU program will be offered gain this this year combining the balance of previously encumbered funds (FY24) with \$50,000 in new fund this year. We expect to open the application window again this winter, once we have made improvements to the program. The RFP for affordable housing development grants is waiting release until the CPA process is closed.

GB Affordable Housing Trust's Sources and Expenses

11/15/25

Total Sources \$ 1,572,492.00
 Total Uses \$ 1,065,559.76
 Balance \$ 506,932.24

does not include interest income (about \$3,400 in FY24)

Org: 84100

SOURCES				EXPENSES			BALANCE
Source	Purpose, per TM vote	Town Meeting	Amount	Expenditures	Amount	Date	
GENERAL FUNDS				GENERAL FUNDS			GENERAL FUNDS
FY18	Unrestricted	5/1/17	\$ 15,000.00	Admin fy 18	\$ 484.94	3/2018	
				Admin fy 19	\$ 100.00	8/15/18	
				Bill Cooke reimb for website fees Wix	\$ 156.00	3/11/20	
				Kwik print envelopes	\$ 32.00	3/25/20	
				Construct -feasibility study of Alden land	\$ 9,975.00	6/30/20	
				Record deed for 40 Grove St	\$ 155.00	4/1/21	
				Shoppers Guide advertisements for dp assistance grants	\$ 205.80	5/5/21	
				Bill Cooke reimb for website fees Wix.com	\$ 165.75	2/16/22	
				Wix.com (2 years Nov 2022- Nov 2024)	\$ 267.75	12/23/22	
				Berk Eagle advert for RFP (Oct 2023)	\$ 165.80	11/13/23	
FY24	Any eligible purpose	5/1/23 article 20	\$ 175,000.00 avall 7/1/2023	RFP erant award to 121 Front Street (create 2 units)	\$ 150,000.00	11/21/23	
				Down pavnent assistance erantee 8 (partial of \$24K total)	\$ 23,305.00	4/16/24	
				administrative and reporting support (500 authorized)	\$ 200.00	5/3/24	
				Recording fee (155) and excise fee (396.72) to record Deed for purchase of Risine ballfield parcel	\$ 551.72	1/6/25	
				erant writine support	\$ 1,000.00	1/9/25	
FY26	STR Community Impact appropriation	5/3/25 article 12	\$ 71,747.00	Recording fee for Trustees Incumbency Certificate	\$ 105.00	4/23/25	
	Earned Interest through Oct 2025		\$ 12,745.00				
TOTAL NON-CPA REVENUE					\$ 186,869.76		\$ 87,622.24
CPA FUNDS				CPA FUNDS			CPA FUNDS
FY18	Any CPA housing purpose	5/1/17 article 13	\$ 50,000.00	Acquisition pavnent 1. Alden parcel	\$ 1,750.00	9/18/19	
				Acquisition pavnent 2. Alden parcel	\$ 7,000.00	1/8/20	
				Emergencv rental assistance (CONSTRUCT first contract)	\$ 35,000.00	4/7/20	
				Reistrv of deeds to record North Plain Rd special permit	\$ 105.00	5/15/23	
				Rental assistance. via Construct (Trust voted Apr. 2023)(loortion)	\$ 6,145.00	4/18/23	
					\$ 50,000.00		\$ -
FY19	Down pavnent assistance	5/7/18 article 11	\$ 100,000.00	Down pavnent assistance erantee 1	\$ 11,805.00	10/31/18	
				Down pavnent assistance erantee 2	\$ 23,500.00	7/24/19	
				Down pavnent assistance erantee 3	\$ 14,000.00	1/4/21	
				Down pavnent assistance erantee 4	\$ 25,000.00	4/1/21	
				Down pavnent assistance erantee 5	\$ 25,000.00	6/16/21	
				Down pavnent assistance erantee 8 (partial of \$24K total)	\$ 695.00	4/16/24	
					\$ 100,000.00		\$ -
FY20	Down pavnent or Rental assistance	5/6/19 article 13 revised by article 20 6/22/2020	\$ 100,000.00	Emergencv rental assistance (CONSTRUCT)	\$ 15,000.00	1/26/21	
				Emergencv rental assistance (CONSTRUCT)	\$ 50,000.00	2/9/21	
				Rental assistance. via Construct (Trust voted Apr. 2023)(loortion)	\$ 35,000.00	4/18/23	
					\$ 100,000.00		\$ -
FY21	Acquisition of Alden parcel	6/22/20 article 19	\$ 185,000.00	Acquisition of Alden parcel	\$ 169,685.00	7/8/20	
				Surv. engineerin. redevelopment	\$ 14,800.00	1/5-3/16/22	
					\$ 184,485.00		\$ 515.00
FY23	Acquisition, Creation, or Support can be used for acquisition, creation or support	6/6/22 article 18	\$ 200,000.00	Summer Block CDC project. voted March 2023	\$ 100,000.00	3/21/23	
				Rental assistance. via Construct (Trust voted Apr. 2023)(loortion)	\$ 8,855.00	4/18/23	
				Down pavnent assistance erantee 6	\$ 25,000.00	12/6/23	
				Down pavnent assistance erantee 7	\$ 24,500.00	1/16/24	
				Down pavnent assistance erantee 9	\$ 24,000.00	11/19/24	
				Down pavnent assistance erantee 10 (partial of 25K)	\$ 17,645.00	11/19/24	
					\$ 200,000.00		\$ -
FY24	Any CPA housing purpose	5/1/23	\$ 265,000.00	ADU pilot	\$ 105,000.00		
				Admin fees - Construct \$5,000 and 5/6/25 84100 - 57825			
				First ADU erant was \$100,000			
				<i>Still recommended by AHT for use:</i>	\$ 45,000.00		
				Down pavnent assistance erantee 10 (partial of 25K)	\$ 7,355.00	11/19/24	
				Purchase of Risine ballfield on Park Street	\$ 86,850.00	12/19/24	
					\$ 244,205.00		\$ 20,795.00
FY25	Any CPA housing purpose	5/6/24 article 18	\$ 23,000.00		\$ -		\$ 23,000.00
FY26	Any CPA housing purpose	5/3/25 article 18	\$ 375,000.00		\$ -		\$ 375,000.00
TOTAL CPA REVENUE					\$ 1,298,000.00		\$ 419,310.00
					CPA spent or encumbered		CPA balance
					\$ 878,690.00		\$ 419,310.00
Total all funds				Total all funds in:	total spent or encumbered	balance available all funds	
				\$ 1,572,492.00	\$ 1,065,559.76	\$ 506,932.24	

Great Barrington Affordable Housing Trust Accessory Dwelling Unit Pilot Program

Terms and General Information

ADU – Accessory Dwelling Unit. In Great Barrington, Accessory Dwelling Unit is defined in the Zoning Bylaw as follows: “a subordinate dwelling unit on the same lot as a primary single unit dwelling or two-unit dwelling, whether in an accessory building or within the same building as the primary dwelling, with provisions for independent cooking, living, sanitation and sleeping. A Movable Tiny House (MTH) connected to electricity, water, and sewer or septic that has its chassis, wheels, and hitch concealed shall be considered an accessory dwelling unit.” (Section 11.0)

AMI – Area Median Income is the area median income as determined by the United States Department of Housing and Urban Development and applicable to the Town of Great Barrington. Affordable Housing Trust (AHT) funding may only be used for housing for people with incomes of up to 100% AMI.

AMI Restrictions – Where the AHT uses funds to create housing, the housing must have a period of time during which that housing will be restricted as affordable housing and tied to a minimum AMI. The minimum period of restriction is 10 years.

1. ADU Pilot Purpose

- Leverage the resources of the AHT to add affordable ADUs to the local housing market;
- Test viability of utilizing direct partnerships with resident homeowners to increase AMI protected housing in Great Barrington;
- Provide an opportunity for resident homeowners with financial need – including those with incomes over 100% AMI, but who experience difficulty meeting the cost of living in Great Barrington – to support their cost of living by leveraging AHT funds for construction or renovation to create additional rental income as a means to become financially secure.

2. Applicant Criteria

The criteria by which homeowner/landlord applications will be evaluated and selected, as well as the criteria for the homeowner/landlord application, are as follows:

- Applicants:** Applicants must currently be legal residents of Great Barrington (their primary residence), or have a current and valid purchase and sale agreement to buy a home in Great Barrington that will be used as their primary residence, with a commitment to maintain that residence for 10-years.
- Residency:** The proposed ADU will be located on the same Great Barrington property that is also the primary residence of the applicant.

- iii. **Project Viability:** In cases where the total project costs will exceed the amount requested of the AHT by the applicant, the applicant must demonstrate, at the time of application, the financial ability to complete the total construction of the ADU building or renovation project. Evidence of this ability may include savings, other loans, or labor to be contributed to the project.
- iv. **Resident-Landlord Financial Need:** Applications that demonstrate that the ADU rental income will assist the applicant in being able to afford their Great Barrington housing costs and contribute to allowing them to remain a resident of Great Barrington will be prioritized.

3. AMI Tenant Requirement

The AMI requirement for the tenant of the proposed ADU and income verification process are as follows:

- **AMI:** Maximum income for the tenant of the rental unit (ADU) is 100% of Great Barrington AMI. Rents may not exceed 30% of tenant income at time of lease and verification.
- **Verification:** Income eligibility will be verified at the time of lease. On the first anniversary of the lease date, and at the same time in subsequent years of the lease, the applicant must submit to the AHT or its administrator verification that same tenant remains in the unit. Any change of tenant requires approval of the AHT or its administrator and verification that the proposed new tenant meets the income eligibility requirement.
- **Verification Administration:** The AHT will subcontract income eligibility verification to a third-party organization or corporation acting as program administrator.

4. Loan Program Structure & Administration

This section describes how the loan can be used, its structure and administration.

- **The Loan:** A 0% interest, 10-year loan to resident-landlords to create an ADU on their property on which they primarily reside. The loan shall be tied to a minimum 10-year restriction on the ADU, requiring its use as an affordable rental to persons with income of no more than 100% of AMI. If the unit is occupied continuously for 10 years by an eligible tenant or tenants, the loan will be 100% forgiven after that 10-year period.
- **Disbursement:** Up to 50% of the loan amount will be available for disbursement at the start of the project. The remaining portion will be distributed as a cost reimbursement upon verification of completion of work, or portions thereof, and at such intervals as the AHT determines appropriate for the project being funded. The loan documents must be signed prior to any disbursement.
- **Lien for indebtedness:** The loan documents may include a statement of lien, or similar document, as evidence of the loan, and to be recorded at the Registry of Deeds at the time of the initial disbursement.
- **Continued residency required until construction completion:** Should the owner/applicant fail to maintain primary residency at the property after loan approval, whether before or during construction, approval of the application will be rescinded and the applicant must return to the AHT any loan funds disbursed.

- **Requirements after construction:** Owners/applicants who cease to reside on the property after occupation of the ADU by a qualified tenant, or who fail to make the property available for rental in accordance with the ADU loan program within 60 days of completion of construction, or who fail to rent to a qualified tenant within 180 days of completion of construction will not be eligible for any loan forgiveness and repayment of the full loan amount will be due 12 months from the first date of non-compliance.
- **Timeframe:** Each application must include a timeline for completion of construction and proposed rental of the ADU. As part of the loan approval process, the AHT or its administrator will set a project-specific schedule and construction completion deadline. In the event that a project is delayed by 6 months or more beyond the construction completion deadline, the AHT or its administrator will conduct a project review and set a revised timeline and completion deadline, by amendment of the loan documents and written agreement with the applicant. If no agreement can be reached or if the applicant fails to meet the new construction deadline, no further disbursement will be made and the AHT may take legal action against the applicant to recover funds previously disbursed.
- **Property sale:** The restriction established by the loan documents shall run with the land; however, in the event of a property sale within 10 years after the date of the loan documents, repayment of the entirety of the loan shall be due in full at the time of sale, and there shall be no eligibility for loan forgiveness.
- **Administration issues:** When determined necessary or appropriate, the AHT will seek Town counsel input regarding loan document requirements and program compliance and enforcement mechanisms, including applicability of fair housing laws to loan applicants and program participants and, to the extent necessary, the application of “Mrs. Murphy’s” rule. The pilot will adopt the recommendation of counsel on both issues during implementation phases.

5. Public Relations and Marketing

The success of the ADU Pilot Program rests on effective outreach and marketing in order to maximize the applicant pool and ensure community awareness. The AHT will work with the Town to generate and disburse information about the Pilot Program and application process. The following provides an outline for further implementation:

- **Target Audience:** Homeowners in the Town of Great Barrington, with efforts to generate word-of-mouth information sharing among all residents.
- **Community-based Information Outlets:** The NEWSletter, Senior Center Newsletter, Shopper’s Guide, Social Media, AHT Website, Town Website, Town social media, School District E-blasts
- **AHT Website:** Posted program updates, press release, general information about the Pilot Program, and a link to the application form.
- **In person:** Information session.
- **News Media:** Target local news outlets for in depth stories, Spectrum News, The Edge, The Eagle and WAMC.
- **Materials to Create:** Short-form program description, press release, website content, hard copy flyer and social media “flyer.”

6. Budget Line

The Pilot Program budget includes \$150,000 for disbursements in loans to selected applicants and \$5,000 for program administration.

- \$150,000.00 – To be disbursed to selected applicants, with selection to be based on whether and how well the application meets program criteria. There will be no minimum loan amounts or number of applications for program participation.
- \$5,000.00 – To fund program administration costs. It is expected that a sum up to this amount will be paid, as a flat fee, to the program administrator for general administration, including implementation of the application process and tenant eligibility verification. The reasons for using a contract-based administrator include 1.) better protecting the privacy of applicants; 2.) ensuring the resources needed for the application and selection process; and 3.) providing a greater level of expertise in housing and community-based loan programs.
- The total number of applications funded will be determined during the evaluation process. If no applicants sufficiently meet program criteria for approval, then no funds will be disbursed.
- No single loan may exceed \$100,000.00.
- **In the event** no viable applications are received, the funds budgeted for the Pilot Program will be returned to the general fund of the AHT for use in other AHT programs.

7. Application and Selection

The Application

- **Accessibility:** To the extent possible, the application form program information documents will use straight forward language to describe the program and the evaluation process.
- **Timeline:** The application period will be 3 months, starting upon completion of the Pilot Program design and the start of program marketing activities. The program administrator will begin the application review and selection process following the close of the application period.
- **In the event no applicants are selected:** If there are no viable applications, the budgeted funds will revert back to general fund of the AHT for other programming.

Selection Criteria

Applications will be evaluated, compared, ranked, and ultimately selected using the criteria outlined below. All applicants must meet the residency requirement, with no exceptions.

Applications will be evaluated on:

- I. Project viability – ability to complete the construction, renovation and/or physical improvements proposed. The program administrator may consider additional funding/cost savings sources (such as personal savings, another loan, or sweat equity/labor on the project).
- II. Living space proposed – the extent to which the proposed ADU is appropriate for use as a living space
- III. Location – The extent to which the proposed ADU location is accessible to food shopping sites and the downtown area, and has cell phone (wireless communications) and highspeed internet coverage.

- IV. Resident-Landlord Financial Need – the extent to which the landlord/applicant demonstrates financial difficulty meeting the cost of living in Great Barrington that an income restricted ADU would help alleviate.
- V. Cost Effectiveness – the extent to which the project is cost effective.
- VI. Impact – the extent to which the application demonstrates a likelihood to provide secure housing for the most people possible – considering ADU capacity and the size of the resident landlord’s household in total – consistent with the goals of the Pilot Program.

The below detailed assessment rubric will be used to evaluate and select applications.

Mandatory Residency Requirement—meets residency requirements and is likely to continue to do so. Prescreening requirement. Not eligible to apply if not met.	Falls eligibility: Not eligible to vote in Great Barrington.	Meets eligibility: Eligible to vote in Great Barrington.			
Assessment Criteria:	Weakest	Somewhat Weak	Moderate	Somewhat Strong	Strongest
1) <u>Project viability</u> – may consider additional funding/cost savings sources (e.g., savings, other loan, or sweat equity/labor on project)	Low level of detail on budget and financial plan such that assessment of viability is not realistically possible.	Low level detail budget or financial plan.	Moderate detail on both budget and financial plan.	Strong budget detail or financial plan but not equally strong.	Detailed budget and financial plan that shows 100% of the project cost will be covered, once the loan amount is included.
2) <u>Living space proposed</u> – the extent to which the proposed ADU is appropriate for a living space <ul style="list-style-type: none"> • Square Footage. • Amenities. • Natural light. • Environmental quality of materials used. 	Minimum allowable square feet (150 sq. ft. of habitable floor space for first occupant and 100 sq. ft. for each additional occupant) under State Sanitary Code. 105 CMR 410.420 Meets minimum standards for a dwelling unit re: water, sanitation, insulation, heat. See State Sanitary Code, chapter 2. Meets minimum windows requirements. Meets minimum environmental design/construction standards. (Refer to Chapter 83 of Great Barrington Code, Stretch Energy Code, and LEED (Leadership in Energy and Environmental Design) rating system of the U.S. Green Building Council.)	Minimum allowable square feet (338 sq. ft.) Meets minimum standards for a dwelling unit re: water, sanitation, insulation, heat and has either: full kitchen, a washer/dryer, a full bath, or high-speed internet. At least 1 window more than minimum windows. Incorporates at least 1 best-practice standard in environmental design/construction.	Minimum allowable square feet (525 sq. ft.) Has some but not all: full kitchen, washer/dryer. Full bath, high-speed internet. At least 2 windows more than minimum. Meets some but not all best-practice standards in environmental design/construction.	Minimum allowable square feet (713 sq. ft.) Has most but not all: full kitchen, washer/dryer, full bath, high-speed internet. Good natural light. Incorporates many best-practice standard in environmental design/construction.	Maximum allowable area: (no more than 900 sq. ft. net usable floor area), per Zoning Bylaw, section 8.2. Has full kitchen, washer/dryer, full bath, high-speed internet. Strong natural light. Meets all best-practice standards in environmental design/construction.
	Meets all minimums to get a Certificate of Occupancy under State Building Code.				
3) <u>Location</u> – The extent to which the location is accessible to food shopping sites and downtown area, and has cell phone (wireless communications) coverage. <ul style="list-style-type: none"> • Ease of access to groceries/food and Main Street. • Cell phone service/coverage. 	Must have transportation to access grocery or food and Main Street, no cell phone coverage.	Has access to only one of: groceries/food; Main Street; or cell phone coverage.	Has access to more than one of: groceries/food; Main Street; or cell phone coverage.	Has access to all but one of: groceries/food; Main Street; or cell phone coverage.	Within walking distance of groceries/food and Main Street & full cell phone coverage.
4) <u>Resident-Landlord Financial Need</u> – the extent to which the landlord/applicant demonstrates financial limitations in meeting cost of living in Great Barrington that an income restricted ADU would help alleviate	No financial need.	Housing costs are less than 30% of applicant’s household income and there is little financial need. ¹	Housing costs are approximately 30% of household income and there is some financial need.	Housing costs are over 30% of household income and there is clear financial need.	Application information demonstrates ADU rental income will prevent landlord/applicant from leaving home.
5) <u>Cost Effectiveness</u> – the extent to which the project is cost effective	Inefficient use of estimated cost/square foot.	Somewhat inefficient use of estimated cost/square foot.	Moderately efficient use of estimated cost/square foot.	Fairly efficient use of estimated cost/square foot.	Maximizes efficient use of estimated cost/square foot.
6) <u>Impact</u> – the extent to which the application demonstrates a likelihood to provide secure housing for the most people possible – considering ADU capacity and the size of the resident landlord’s household in total – consistent with the goals of the Pilot Program.	Minimum impact: Studio unit, or 1 resident in the landlord/applicant’s residential unit.	Studio unit and 1 resident in the landlord/applicant’s residential unit.	1 bedroom and more than one resident in the landlord/applicant’s residential unit.	Multiroom ADU or high number of residents in the landlord/applicant’s residential unit.	Maximum impact: Multiroom ADU and highest number of residents in the landlord/applicant’s residential unit.

Town of Great Barrington, MA
Great Barrington Affordable Housing Trust Fund
Request for Proposals for
Affordable Housing Projects

I. INTRODUCTION AND IMPORTANT DATES

The Affordable Housing Trust Fund’s (the “Trust” or “AHTF”) mission is to create, preserve and support affordable housing in Great Barrington, and to fund community housing for low and moderate income households, as defined in and in accordance with the provisions of G.L. Chapter 44, §55C. This housing is defined as being affordable to those persons and households whose annual income is less than 100 percent of the area median income (AMI), as determined by the U.S. Department of Housing and Urban Development (HUD). Since its inception in 2017, the Trust’s projects have included emergency rental assistance programs, down payment assistance programs, acquisition of land on which to create new homes, and grants for the renovation of homes and buildings to create or preserve affordable housing. The Trust’s projects are funded by municipal appropriations from the Town’s general fund and the Community Preservation Act (CPA), and may also be funded from donations of money, land, and/or buildings.

With this Request for Proposals the Trust seeks proposals for new affordable housing projects, and for renovation and redevelopment projects that will produce new or preserve existing affordable housing.

- RFP Issuance: September 2025
- This RFP will remain open until June 30, 2026, or until funds are expended.
- Inquiries Deadline: Up to two weeks prior to the submission
- Proposal Submission Deadline: By the 1st of each month, 2:00 PM
- Proposal Presentations: At the regular meetings of the AHTF; depending on the number of applications, presentations may carry over into the next regular, or specially scheduled, meeting of the AHTF.
- Selection: To the greatest extent possible selection decisions will be made at the time of the presentations but may be continued to subsequent meetings at the discretion of the Trust.

II. REQUEST FOR PROPOSALS

The Town of Great Barrington Affordable Housing Trust Fund, through the Town Manager, is seeking proposals from individuals and groups who have the capabilities consistent with the scope of the project to design, plan, build, create, operate, and manage affordable housing projects on small, medium and large scales, and by using a variety of financing techniques. The intent of this RFP is to identify projects and collaborators that will provide affordable housing for Great Barrington in keeping with the Trust’s mission, the Town’s housing strategies, and the Trust’s financial obligations. With this RFP the Trust seeks proposals for the following:

- Renovation and redevelopment projects that will produce new or preserve existing affordable housing.

The Trust is open to considering various development, rehabilitation and/or future ownership scenarios on projects that respond to the above description. The Trust prefers deed restrictions in perpetuity for its projects, but will consider shorter terms in proportion to the funding requested from the Trust.

Any type of entity or person may submit a response to this RFP. Respondents could include nonprofit housing and community development partners, for-profit housing developers, and even private landowners or homeowners who are seeking to help fulfill the Trust's mission.

All proposals and any subsequent grant award agreement will become a public record.

III. INSTRUCTIONS FOR SUBMISSION OF RESPONSES

Proposals will be considered on a rolling basis. Applicants should submit one (1) original response, three (3) hard copies of the response, and one (1) electronic version **by or before: 2:00 pm, on or before the first business day of the month. Proposals received after this time will be held over to the subsequent submission period. Proposals should be addressed as follows:**

Town of Great Barrington
Affordable Housing Trust Fund
c/o Christopher Rembold, Assistant Town Manager/Director of Planning
334 Main Street
Great Barrington, MA 01230

All inquiries regarding this RFP should be submitted via e-mail and directed to the Assistant Town Manager/Director of Planning & Community Development (crembold@townofgbma.gov), no later than 2:00 PM fourteen calendar days before the submission date. All inquiries and responses to inquiries pertaining to this RFP will be shared with all registered Proposers and prospective Proposers. The Trust is not responsible for the reliability of electronic communications.

Responses must be marked "2025-2026 Proposal to the Affordable Housing Trust Fund" and must include all required documents, completed and signed per this RFP, and all required forms per this RFP. The Trust reserves the right to reject any or all proposals or to cancel this Request for Proposals if it is deemed in the best interest of the Trust to do so.

The Trust makes no representations or warranties, express or implied, as to the accuracy and/or completeness of the information provided in this RFP. This RFP (including all attachments and supplements) is made subject to errors, omissions, prior sale, lease or financing and withdrawal without prior notice, and changes to, additional, and different interpretations of applicable laws and regulations.

Proposers should undertake their own review and analyses concerning physical conditions, environmental conditions, applicable zoning, required permits and approvals, and other requirements and legal considerations for their subject sites relevant to the terms and elements of

their proposals.

IV. PROPOSAL SUBMISSION REQUIREMENTS

1. A cover letter of interest signed by the principal(s), with their contact information, including the following:
 - a. Their understanding of the Trust's mission
 - b. The location of the proposed project
 - c. A summary of the number of units, bedrooms/unit, and rent/unit
 - d. A summary of the proposed AMI threshold/unit
 - e. The proposed deed restriction(s)
 - f. The amount of funding requested from the Trust and the estimated total cost
 - g. Their willingness to enter into contracts with the Town, including any required affordable housing deed restrictions.

2. Narrative Description – The response shall include:
 - a. A description of the concept for the subject property, including its location, the feasibility of development or redevelopment, the types of uses to be located on the property, access on the property to cell phone (wireless communications) and internet provider services Minimum Threshold Criteria/GB, Criteria 5
 - b. The total number of affordable housing units in the project, their types, sizes and their proposed future sale prices or rents, level of affordability (expressed relative to household income and percentage of Area Median Income), and proposed deed restriction periods. Criteria 4 and 1 half of 3
 - c. A description of or plans for the living space proposed, specifying the overall special arrangements of each unit, the number of bedrooms per unit, amenities included per unit, natural light/unit and the environmental quality of materials that will be used in the project. Criteria 3 & 8
 - d. A description of the extent to which the project will meet the housing needs of Great Barrington residents and workers, including a marketing and community outreach plan, and management plan and management entity (if any). Criteria 8

3. Project Scope & Timeline: Include a timeline for acquisition, permitting, financing, construction, reconstruction or rehabilitation, and occupancy. Describe whether significant structural changes or additions, including potential removal or replacement of historically significant exterior features, are anticipated, and whether any significant site changes, e.g., parking or landscaping, are required or proposed. Fully describe all zoning requirements or limitations, describe all other local permits that may be required, and describe the timeline for achieving any needed approvals.

4. Experience & Capabilities: The response shall include a description of the relevant development and property management experience of the Proposer and/or their contractor, whether an individual or a team, including a list of relevant projects that have been completed by the Proposer or their contractor in the past ten years. Describe the experience of the individuals and organizations to be involved, including the development team,

architect and code professionals, engineers and consultants, and, as applicable, the contractor, property manager, lenders and investors, if any. Background information, including firm resumes and resumes for principals and employees expected to be assigned to the project, shall be provided. Criteria 2

5. Organization Chart & Key Personnel: The response shall include an organizational chart of the Proposer, along with: The name, address and telephone number of the Proposer, the name of any representative authorized to act on their behalf, the name of the contact to which all correspondence should be addressed, and the names and primary responsibilities of each individual on the development team. Criteria 2
6. References: Five (5) relevant references, including contact information. Criteria 2
7. Budget & Budget Narrative: Fully describe the development budget including the amount and source of all proposed funds, and a 10-year operating pro-forma that reflects typical income (sales or rents) and expenses, including but not limited to debt service costs and capital or operating reserves. Provide a development financing plan, including: Criteria 1 & 5
 - a. The amount of grant funds the Proposer is seeking from the Trust, when those funds would be expected (month/year) and whether those funds would be needed in one lump sum or over a period of time.
 - b. A proposed pre-development budget, if applicable, including all projected sources to be used to secure necessary permits and approvals for the rehabilitation and/or construction.
 - c. A development budget that includes a list of sources and uses, and identifies the extent to which AHTF funds will leverage other funds for the project.
 - d. Operating budgets with income and expenses over a minimum 10-year period.
 - e. A budget narrative addressing items a-d and describing the assumptions used in making the above determinations, for example, utility costs, taxes or exemptions, price escalations, etc.

V. EVALUATION CRITERIA

Minimum Threshold Criteria

1. The proposed project is located in the Town of Great Barrington.
2. Timely submission of the proposal.
3. A letter of interest signed by the proposal principal(s).
4. The submission includes all required components: narrative description, project scope and timeline, experience and capabilities, organization chart and key personnel, and 5 references.
5. A budget and budget narrative, including funds request, predevelopment budget, development budget, 10-year operating budget.
6. A rehabilitation and/or construction and occupancy timeline of no longer than two (2) years.
7. Submission of required, standard forms: the Certification of Non-collusion, Certification of Authority.

8. All units under consideration must be affordable for households earning up to a maximum of 100% of the Area Median Income.

Comparative Evaluation Criteria

Proposals meeting the minimum criteria will be judged on the following additional comparative evaluation criteria ranked as weak, somewhat weak, moderate, somewhat strong, strong, in accordance with the attached evaluation rubric for this RFP.

1. Project Viability – Considering all funding sources, scope and cost, the extent to which the pro-forma budget presents a viable business model over 10 years.
2. Capabilities Consistent with the Scope of the Project – The extent to which the proposal demonstrates: completeness of project planning in documentation, experience with similar development projects (either the Proposer or the contractor), that subcontractors are in place for the project, and experience in and/or plan for property management.
3. Living Space Proposed – The extent to which the proposed units are appropriate for use as living spaces considering overall spaciousness, amenities included, natural light, and the environmental quality of the materials used.
4. Affordability – Considering the Area Median Income (AMI) threshold required for tenants over the proposed deed restriction period, the extent to which the project will create the most affordable housing for the longest period of time.
5. Location – The extent to which the location is accessible to food shopping sites and downtown areas and has cell phone (wireless communications) coverage and internet access.
6. Cost Effectiveness – The extent to which the project is cost effective measured by overall efficacy in the use of resources and additional funds an AHTF grant will leverage for the project.
7. Impact – The extent to which the application demonstrates a likelihood to provide secure housing for the most people possible as assessed by total number of units included in the project and per unit maximum impact.
8. Community Need – The extent to which the project meets the affordable housing needs of the Great Barrington community, based on demonstrated knowledge of the affordable housing needs of Great Barrington residents and workers and experience with marketing and community outreach in Great Barrington.

VI. INTERVIEWS

The Trust may require an interview with Proposers, and any interview presentations will be considered as part of the overall evaluation process to determine the successful Proposer. Any such interviews will be used to further assess the proposal in relation to section V., Evaluation Criteria.

VII. SELECTION PROCESS

All proposals properly submitted will be opened in public. All information contained in the proposals is public, including the requested grant amount. The Trust will review and evaluate all proposals received by the submission deadline on a rolling basis throughout the year, based on the criteria outlined herein. Evaluation of the proposals will be based on information provided in the

Proposer’s submission as described in the submission requirements of this RFP and any interviews, references, and additional information requested by the Trust. The successful Proposer(s) will be the responsive and responsible Proposer(s) who submits the proposal that best meets the intent of this RFP as stated in section II, taking into consideration the grant amount requested from the Trust and the comparative evaluation criteria set forth in the RFP, as further explained in the Evaluation Rubric included in Appendix A. The Trust will notify all Proposers in writing of its decision.

The Trust will select proposals to fund that it deems likely to create affordable housing consistent with the Trust’s mission, taking into consideration all evaluation criteria and the requested grant amount. More than one proposal may be selected, and the Trust reserves the right to offer grant amounts that are lower or higher than requested. All grants are subject to appropriation of sufficient funds.

VIII. EXECUTION OF GRANT AGREEMENT

The successful Proposer will be required to execute a Grant Agreement in the form presented by the Trust, committing to the elements of the proposal and a timeline for implementation of the project, and prerequisites, if any, to be fulfilled.

RFP COMPARATIVE EVALUATION RUBRIC

Program Goals

1. Leverage the resources of the AHTF to add affordable residential units to the Great Barrington housing market.
2. Encourage renovation and redevelopment projects that will produce new or preserve existing affordable housing affordable housing in town.

Assessment Criteria	Weak	Somewhat Weak	Moderate	Somewhat Strong	Strong
1. <u>Project Viability:</u> Considering all funding sources, scope and cost of project, does the pro forma present a viable business model over ten years.	The pro forma lacks a detailed budget and comprehensive financial plan, making it impossible to realistically assess the project's viability. Key required budget elements are missing.	The pro forma shows some long term planning but lacks a sufficiently detailed budget and financial plan to enable a meaningful assessment of project viability.	The pro forma includes a moderate level of detail in both the budget and financial plan, but falls short of what is needed for a confident assessment of project viability.	The pro forma demonstrates strong detail in either the budget or the financial plan, but the other component is comparatively weaker, limiting a full assessment of project viability.	The pro forma presents a detailed and complete budget and financial plan, demonstrating full coverage of project costs. All required elements are included. Information provided permits assessment of project viability.

<p>2. <u>Capabilities Consistent with Project's Scope:</u></p> <ul style="list-style-type: none"> • Experience with similar projects (applicant or contractor) • Completeness of project planning documents • Subcontractors in place • Developed and realistic property management plan 	<p>The proposal lacks the plans and level of detail necessary to demonstrate the ability to execute the project. Additionally, the applicant or contractor has no experience with similar projects.</p>	<p>The proposal provides only limited plans and details necessary to demonstrate the applicant's ability to execute the project effectively.</p>	<p>While the submission offers a moderately detailed execution plan and some experience with comparable projects, it lacks specificity needed to give confidence in successful delivery.</p>	<p>The proposal includes a generally complete project plan but one or more critical elements, such as executed construction contracts or required permits, are missing or incomplete.</p>	<p>The project is shovel-ready, with detailed plans, materials identified, a building permit issued, and construction contracts in place. The applicant has extensive experience, with a successful track record, on similar projects supporting their capacity to deliver successfully.</p>
<p>Assessment Criteria</p>	<p>Weak</p>	<p>Somewhat Weak</p>	<p>Moderate</p>	<p>Somewhat Strong</p>	<p>Strong</p>
<p>3. <u>Living Space Proposed:</u> The proposed units offer well-proportioned square footage appropriate as living spaces with strong amenities and ample natural light. The selection of materials supports a healthy indoor environment, reflecting thoughtful design and attention to livability.</p>	<p>The proposed unit(s) meets the minimum standards for a dwelling unit under the State Building Code for light, natural ventilation, insulation, energy efficiency, and egress. While they satisfy environmental design and construction requirements, the living space provided is limited.</p>	<p>The proposed unit(s) exceeds basic requirements by offering at least one high-quality feature (e.g., full kitchen, washer/dryer, full bath, or high-speed internet), an additional window beyond the minimum required, and the integration of at least one best-practice element in environmental design or construction.</p>	<p>The proposed unit(s) offers one enhanced amenity—such as a full kitchen, washer/dryer, full bath, or high-speed internet—but does not provide the full set. It surpasses minimum code requirements for windows and incorporates certain best-practice measures in environmental design or construction, though not comprehensively.</p>	<p>The unit(s) includes most, but not all, of the key amenities: full kitchen, washer/dryer, full bath, and high-speed internet. It offers good natural light and incorporates many best-practice standards in environmental design and construction, but some opportunities for further enhancement remain.</p>	<p>The proposed living spaces are spacious throughout, with every room meeting high standards for size and comfort. The unit(s) includes a full kitchen, washer/dryer, full bath, and high-speed internet. Strong natural light is present, and the project demonstrates best-practice standards in environmental design and construction through LEED certification or</p>

					equivalent, such as National Association of Home Builders standards.
4. <u>Affordability (AMI):</u> The project meets the minimum requirement with a deed restriction at 100% of Area Median Income (AMI) for tenants. It also provides long-term affordability through a sustained restriction period. Supports stable housing access for moderate-income households.	The project meets the minimum affordability requirement with a 100% AMI deed restriction, but the restriction is time-limited—raising questions about long-term affordability beyond that term.	The project includes a deed restriction at 90% of AMI for a limited duration, reflecting a stronger affordability level than required, but the restriction is not permanent.	A strong commitment to affordability, either through an 80% AMI deed restriction or nonprofit ownership, but affordability is subject to a limited term.	The project provides deep affordability through a 70% AMI deed restriction in perpetuity or ownership by a qualified housing non-profit, ensuring long-term access to affordable housing.	The project ensures deeply affordable housing through a 60% AMI deed restriction in perpetuity or ownership by a qualified housing non-profit, guaranteeing long-term affordability and community benefit.
Assessment Criteria	Weak	Somewhat Weak	Moderate	Somewhat Strong	Strong
5. <u>Location:</u> The project benefits from a well-situated location, offering easy access to grocery shopping and downtown amenities with strong walkability and pedestrian access to services. Cell service and internet connectivity are present,	With no walkable access to groceries or Main Street, the location is dependent on vehicular transportation for basic needs. Limited cell phone coverage further reduces the site's accessibility and may	The project location provides access to only one of the following: groceries/food, Main Street, or cell phone coverage. This limited access may affect resident convenience and connectivity.	The project location provides access to more than one of the following: groceries/food, Main Street, and cell phone coverage. This supports a reasonable level of convenience and connectivity for residents.	The site has access to all but one of the following: groceries/food, Main Street, or cell phone coverage. While the location supports a generally high level of livability, the missing element may present a limitation for	The site is well-located, with walkable access to groceries/food and Main Street, and benefits from full cell phone coverage. This combination supports a high level of residential convenience and livability.

ensuring residents are well connected both physically and digitally.	impact quality of life.			some residents.	
6. <u>Cost Effectiveness</u> : The project demonstrates cost effectiveness through efficient use of resources and the ability to leverage additional funding alongside the AHTF grant, maximizing the impact of public investment.	The project reflects an inefficient use of resources, with a high estimated cost per square foot. Additionally, limited financial resources are available to support or leverage the AHTF grant.	The project shows a somewhat inefficient use of resources, with estimated costs per square foot above typical benchmarks.	The estimated cost per square foot indicates a moderate level of efficiency. While the proposal does not represent the most cost-effective model, it remains within reasonable limits.	The project demonstrates fairly efficient use of resources, with estimated costs per square foot falling within a reasonable and generally acceptable range.	With a low cost per square foot and the AHTF grant making up no more than 10% of the total project cost, the proposal demonstrates excellent cost efficiency and strong use of external funding sources.
Assessment Criteria	Weak	Somewhat Weak	Moderate	Somewhat Strong	Strong
7. <u>Impact</u> : The application demonstrates a clear potential to provide secure housing to a significant number of individuals, maximizing the impact of available resources.	The project provides a minimum level of per-unit impact, with studio units offering limited space and functionality. The overall impact is determined by the total number of units included in the proposal.	The project includes 1-bedroom units, offering a modest but adequate level of living space. The overall impact is determined by the total number of units included in the development.	The project includes 2-bedroom units, which provide a higher level of livability and flexibility for small families or shared households. The total number of units will determine the overall scale of impact.	The project includes 3-bedroom units, which support larger households and families, enhancing the per-unit impact. The total number of units will determine the overall scale and effectiveness of the project.	The inclusion of 3+ bedroom units provides strong per-unit impact by accommodating larger families and more complex household structures. The total number of units will determine the project's overall contribution to housing availability.
8. <u>Community Need</u> : The	The proposal shows little to	The proposal reflects an	The proposal reflects an	The applicant demonstrates	With meaningful

<p>project addresses the affordable housing needs of the community, based on demonstrated knowledge of local housing challenges, experience working with town residents, and a track record of effective marketing and community outreach.</p>	<p>no consideration of Great Barrington's housing needs. The applicant has no relevant local experience and lacks a proven approach to outreach or marketing within the community.</p>	<p>understanding of Great Barrington's housing needs. However, the applicant lacks relevant local experience and has not demonstrated a proven approach to community outreach or marketing.</p>	<p>understanding of Great Barrington's housing needs, and the applicant brings relevant local experience. However, there is no demonstrated track record of effective community outreach or marketing.</p>	<p>a solid grasp of Great Barrington's housing challenges and brings a proven history of effective outreach and marketing. Nevertheless, the absence of local experience may limit the applicant's ability to navigate community-specific dynamics.</p>	<p>local experience, a strong outreach and marketing track record, and a clear grasp of the community's housing needs, the applicant is well-positioned to deliver an impactful and responsive project.</p>
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APPENDIX 10 NORTH PLAIN ROAD / PROSPERITY WAY

a. SUMMARY

- **Phase One – House Prices:** Habitat is currently estimating that the average cost of a home for the Phase One houses (going in now), will be \$418,436. The majority of houses in Phase One are large modulars that will house the largest families in the development. Habitat moved these homes up to phase one of the project to avoid an anticipated increase in cost of over \$40,000/modular with tariffs and to get the crane needed to set the modulars in before paving to prevent damaging the road after paving. Phase one houses will be matched with applicants in the 80%-100% AMI window.
- **Applications from Great Barrington residents:** Habitat received 261 applications expressing interest in Prosperity Way at the step 1, prescreen phase of the application process. Of these, 76 were eligible to submit a full application and have been invited to do so. This step is currently in process.

As of typing this, they have received 9 complete or near complete full applications to date, 2 of which currently live in Great Barrington (including Housatonic), 1 works for BHRSD, 4 currently live in other South County towns, and 2 of which are currently Pittsfield residents. These numbers are changing quickly as applications come in.

The prescreen phase of the application process does not ask for information about current residence other than to ask if they reside in Berkshire County or outside of the County. This can be changed if it is vital information going forward.

Of the completed applications received to date, the majority are for smaller size families, while the phase one homes are for larger size families. They will be eligible for the next houses to go in at Prosperity Way. Habitat may also consider revising the design of the houses in future phases if they find it is not well aligned with the applicants need.

- **Project Costs:** There is a certain amount of variability in the total estimated project costs. This is the case for two reasons, construction costs and the Habitat model. Construction costs continue to rise across the board, which impacts the costs of a multiyear project like this one significantly. On the other hand, the Habitat model adds the variable of in-kind donations in the form of labor and/or materials, which brings costs down, but varies house to house, phase to phase, depending on donated time available.

Habitat's Project Manager, June Wolf, currently estimates the whole of Habitat's aspect of the project to cost \$8,725,000. In the report from Habitat Executive Director, Carolyn Valli below, Ms. Valli estimates the total cost for phase one, (the current phase), will be \$2,510,616, with projected in-kind donations and additional grants obtained by Habitat for phase phone coming in around \$712,000.

To date, the Great Barrington Affordable Housing Trust costs associated with the Alden Parcel/Prosperity Way are as follows:

- \$9,975 – Feasibility study (non-CPA Town funds.)
- \$178,435 – Acquisition (CPA funds – Town/State)
- \$14,800 – Survey, engineering, and predevelopment (CPA funds – Town/State)

Additionally, the Town and Trust leveraged the Trust’s investment to secure a MassWorks grant from the State in the amount of \$3.2 million for use on site infrastructure which included engineering (White Engineering, \$70,000), the road, electrical, sidewalks, sewer, earthwork and drainage (Rifenburg, \$3,193,053). The town utilized \$103,320 in 40R funds (part of a previous multiyear Smart Growth grant) on costs associated with digging foundations.

Of actual and estimated costs from acquisition through Phase One (end of this fiscal year), .17% of funds are non-CPA Town of Great Barrington funds and 3.22% of funds are CPA funds (a combination of Town and State dollars). Approximately 55% of funds are grants received by the Town of Great Barrington, the majority of which are MassWorks grant funding. 42% of funding through the end of Phase One is funding and/or donations secured (or to be secured) by Habitat.

b. Habitat Report on Prosperity Way from Executive Director, Carolyn Valli

Prosperity Way & Housatonic Homeownership Pipeline and Affordability Report

Building a Path Forward—Together

Introduction

Central Berkshire Habitat for Humanity remains committed to expanding access to affordable homeownership in Berkshire County. As we advance the Prosperity Way development—alongside ongoing interest in Housatonic—we continue to strengthen our systems for screening, supporting, and selecting families while working collaboratively with partners to overcome key affordability obstacles. This report summarizes the applicant pipeline, the screening and review process, financial projections for the project, and shared challenges related to affordability, taxes, and subsidy requirements.

Our spirit is one of partnership: **How can we get this done together?**

I. Applicant Pipeline Overview

Pre-Screening Results

To date, **548 pre-screen applications** have been received. Of these, **261 applicants** expressed interest in the Housatonic homes or indicated willingness to consider either Pittsfield or Housatonic.

Pre-screening enables us to review self-reported applicant data quickly and compassionately, ensuring families are not burdened by a lengthy application if they clearly fall outside program guidelines.

Applicants Who Did Not Qualify (Pre-screen Stage)

Category	Number	Notes
Credit score below 640	38	Referred to Financial Education
Did not meet affordable payment guidelines	17	Front-end/back-end ratios too high
Did not meet payment <i>and</i> income guidelines	13	Multiple eligibility barriers
Did not meet income guidelines	81	Outside of current program limits
Family size not eligible	2	Families of 9 and 10 exceeding available unit sizes
Qualified for Pittsfield but not GB	34	GB AMI caps and limits differ
Qualified for GB only (invited to apply)**	34	Invited to submit a full application
Qualified for both GB & Pittsfield (invited)**	42	Invited to submit a full application

Total invited to full application stage: 76 families.

II. Full Applications Received (GB – To Date)

We have currently received **7 full or near-complete applications** [updated to 9, at time of AHTF Step 2 draft submission] for the Great Barrington/Housatonic units:

Applicant	Family Size	AMI %
C.M.	4	60%
C.S.	2	67%
I.J.	1	68%
S.Z.	1	90%
A.H.	2	72%
T.J.	5	55%
T.F.	3	74%

Application Review Process

1. **Pre-screening** to reduce applicant frustration and unnecessary paperwork.
2. If the pre-screening is inconclusive, applicants are invited to send **targeted documents** (income, credit, bank statements) before completing a full application.
3. **Full application** is then processed: verification of income, assets, employment, credit, and household composition.
4. Applications are reviewed by the **Homeownership Team**.
5. CEO completes **final approval**.

To date, **only one application has been denied**, due to liquid assets exceeding \$500,000, which falls outside our eligibility criteria.

Support for Non-Qualifying Applicants

Applicants not eligible for Round One are encouraged to enroll in **Building for Tomorrow**, where they can access:

- Financial education
- Coaching
- Asset-building supports
- Credit repair pathways

These efforts help build long-term stability and prepare families for future opportunities.

Applicants below the 80–100% AMI target for Phase 1 are considered for **Phase 2**, which is projected to include homes affordable to applicants as low as **65% AMI**, *pending approval of submitted grant requests*.

III. Affordability Challenges & Financial Realities

Construction Cost Overview

Average cost to construct each Phase One home: **\$418,436**

Phase One Total Project Cost

- **Total Cost:** \$2,510,616
- **Projected Gift-in-Kind & Grants:** \$711,990
- **Projected Net Cost:** \$1,798,626

Based on the AMI of buyers and final sale prices, Phase One may result in:

- **Up to a \$217,000 project loss**, or

- A **surplus**, which would be **rolled into Phases 2 & 3** to deepen future affordability.

This is a core challenge—and an opportunity for partnership.

IV. Taxes: A Structural Barrier to Affordability

One of the primary drivers pushing families above their affordability threshold is **property taxation**.

Projected Monthly Tax Burden at 80–100% AMI

- **\$364 – \$439 per month**
This increases total monthly housing cost to:
- **\$2,086 – \$2,310 per month**

Impact

Opportunity to align that the Prosperity Way homes will be taxed at deed-restricted sale prices which would negate the following impacts:

- Sale prices must be increased to allow mortgage underwriting to absorb tax costs.
- Increased sale prices push required AMIs **higher**, shrinking the eligible pool.
- This is disproportionately harmful in high-value communities like Great Barrington.

Critical Question for Policymakers and Partners

Can property taxes be based on the restricted structure value rather than market value?

This policy adjustment could unlock affordability not only for Habitat—but for all income-restricted homeowners.

V. Subsidy Comparison: Pittsfield vs. Great Barrington

Pittsfield units benefited from substantial subsidy support:

- **CPA contribution:** ~\$45,000 per unit
- **MassHousing support:** Over **\$150,000 per unit**

This allowed significantly lower sale prices and lower AMI requirements.

By contrast, Great Barrington Affordable Housing Trust:

- Caps household AMI's **100%**.

- Has greater market pressure due to higher assessed values
- Offers up to \$25,000 in down payment assistance as a loan, which has to be factored into sales price for mortgage purposes.

The difference in subsidy layers materially affects affordability outcomes.

VI. Phase 2 Opportunities

Phase 2 includes **funding requests submitted to FHLB**, which—if awarded—will:

- Bring AMI targets as low as **65% for a limited amount of units**.
- Deepen affordability
- Reduce sale prices
- Lower mortgage and tax burdens
- Preserve long-term affordability for more local families

This is another place where partnership and advocacy can move the needle.

VII. Moving Forward—Together

The challenges facing Prosperity Way and our Housatonic pipeline are real, but they are not insurmountable. By working collaboratively across municipal partners, funders, philanthropic supporters, and community leaders, as we have from the beginning of this project we can:

Key Opportunities for Partnership

- **Advocate for tax reform** that aligns assessments with deed-restricted values.
- **Increase local subsidy contributions**, especially in high-cost markets.
- **Support grant applications** and cross-sector funding models. The Town of Great Barrington has been the best partner on grant applications in the Berkshires.
- **Explore regional policy shifts**, including tax abatements or innovative housing overlays.

Our Shared Goal

To ensure that **working families**—teachers, health aides, retail workers, childcare providers, and essential service workers—can afford to live in the towns they keep running.

Our Shared Commitment

To build homes families can afford today, and to build systems that ensure long-term affordability for generations.

Conclusion

Prosperity Way is not just a housing development—it is an investment in community, stability, and shared opportunity. The data show both strong demand and significant structural challenges. By coming together around creative solutions, targeted subsidies, and advocacy for tax and policy alignment, we can close the gap and ensure this project succeeds.

Let's get this done—together.